

SYMBOL	DATE	DESCRIPTION	BY
		REVISIONS	
		©2017 NORRIS & TUNSTALL	

SURVEY LEGEND

- E.I.P. = EXISTING IRON PIPE
- E.L. = EXISTING IRON
- E.C.M. = EXISTING CONCRETE MONUMENT
- R.W. = RIGHT OF WAY
- C.P. = COMPUTED POINT
- C.O. = CLEAN OUT
- P.P. = POWER POLE
- INV. = INVERT
- B.F.P. = BACK FLOW PREVENTER
- W.M. = WATER METER
- C.O. = CLEAN OUT
- O.V.H. = OVERHEAD
- U.G. = UNDERGROUND
- FENCE
- STORM INLET
- LIGHT POLE

PROPERTY LINE

BUILDING SETBACK

CENTERLINE

EASEMENT

COMPUTED PROPERTY LINE

TREE TABLE

- T1 - 21" OAK
- T2 - TRIPLE 12" OAK
- T3 - TWIN 13"/17" OAK
- T4 - 11" OAK
- T5 - 8" OAK
- T6 - 7" OAK
- T7 - 6" OAK
- T8 - 7" OAK
- T9 - 7" OAK
- T10 - 7" OAK
- T11 - TWIN 7"/10" OAK
- T12 - 15" PINE
- T13 - 12" PINE
- T14 - 12" HARDWOOD
- T15 - 15" PINE
- T16 - 12" PINE
- T17 - 9" OAK
- T18 - 7" OAK
- T19 - 8" OAK
- T20 - 13" OAK
- T21 - 12" PINE
- T22 - 9" OAK
- T23 - 8" OAK
- T24 - 10" OAK
- T25 - 8" OAK

INVENTORY SITE DATA

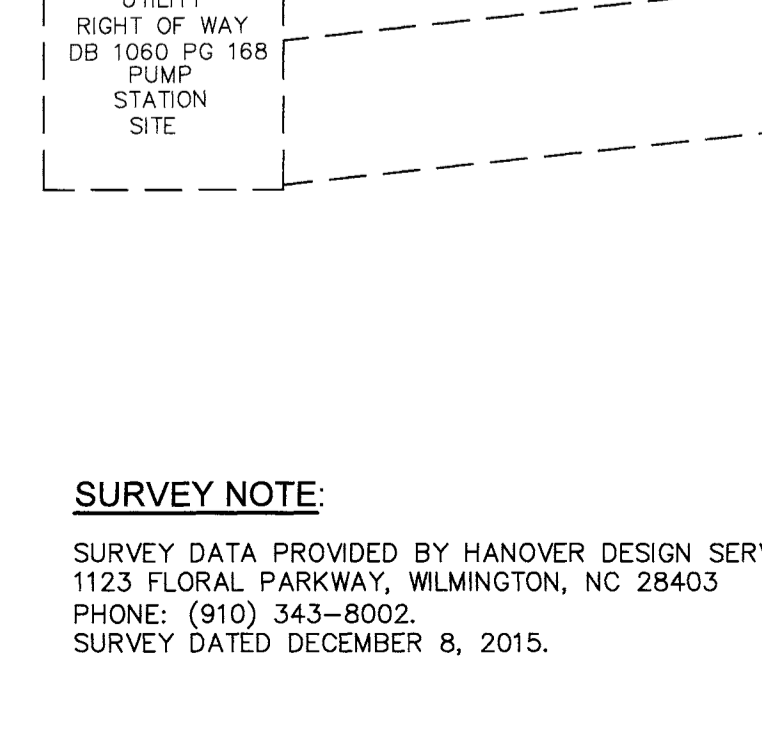
EXISTING PARCEL ID#:	R04915-003-003-001
EXISTING PARCEL PIN#:	313820.80.5964.000
PARCEL ADDRESS:	4920 NEW CENTRE DRIVE
PARCEL OWNER:	JASPER BOULEVARD LLC
EXISTING PARCEL AREA:	9.87 AC
NEW PARCEL A:	3.70 AC (161,272 SF)
ADDRESS:	4900 NEW CENTRE DRIVE
NEW PARCEL B:	5.97 AC (259,874 SF)
ADDRESS:	4920 NEW CENTRE DRIVE
EXISTING PARCEL USE:	AUTOMOBILE DEALER
PROPOSED PARCEL USE:	AUTOMOBILE DEALER
CURRENT ZONING:	RB-REGIONAL BUSINESS
CAMA LAND CLASSIFICATION:	URBAN
SOIL TYPE:	MU
SITE DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD AREA	
NO CAMA AREAS OF CONCERN OR ASSOCIATED SETBACKS	
HISTORICAL/ARCHAEOLOGICAL SITE:	NONE
CEMETERY:	NONE
FORESTED AREA:	SEE PLAN FOR TREE SURVEY
WETLANDS:	NONE EXIST WITHIN SITE AREA
ENDANGERED SPECIES/HABITAT:	NONE REPORTED

SURVEYOR NOTES:

- AREA COMPUTED BY COORDINATE METHOD.
- ALL DISTANCES ARE HORIZONTAL GROUND.
- THIS SURVEY IS NOT FOR RECORDATION, IT DOES NOT MEET ALL REQUIREMENTS OF G.S. 47-30.
- THE UNDERGROUND UTILITIES SHOWN ON THIS SURVEY ARE LOCATED FROM FIELD SURVEY INFORMATION, AND EXISTING AS-BUILT DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THE SURVEYOR DOES CERTIFY THAT THE UTILITIES ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
- FOR REFERENCE SEE DEED BOOK 1466 PAGE 338 & DEED BOOK 2124 PAGE 57.
- THIS TRACT IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON FIRM 37203138J, EFFECTIVE DATE APRIL 3, 2006.
- VERTICAL DATUM NAVD 88
- NO OBSERVED EVIDENCE OF RECENT EARTH MOVING ACTIVITY.
- NO OBSERVED EVIDENCE OF A SOLID WASTE DUMP BASED ON RECENT SURVEY AND OBSERVED EVIDENCE NO WETLANDS.

SURVEY NOTE:

SURVEY DATA PROVIDED BY HANOVER DESIGN SERVICES, P.A.
 1123 FLORAL PARKWAY, WILMINGTON, NC 28403
 PHONE: (910) 343-8002.
 SURVEY DATED DECEMBER 8, 2015.



For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

NCDENR PWSS WATER PERMIT # _____ GPD
 WATER CAPACITY: _____ GPD
 DWQ SEWER PERMIT # _____
 SEWER CAPACITY: _____ GPD
 SEWER SHED # AND PLANT: _____
 SEWER TO FLOW THROUGH NE: YES or NO (CIRCLE ONE)

Approved Construction Plan

Name: _____ Date: _____

Planning: _____

Traffic: _____

Fire: _____

WILMINGTON
 NORTH CAROLINA
 Public Services • Engineering Division
 APPROVED STORMWATER MANAGEMENT PLAN

Date: _____ Permit # _____

Signed: _____

902 MARKET STREET
 WILMINGTON, NC 28401
 PHONE (910) 343-9653

NORRIS & TUNSTALL
 CONSULTING ENGINEERS P.C.

1429 ASH-LITTLE RIVER RD. NW
 WILMINGTON, NC 28401
 PHONE (910) 281-5900

16038

DES. JST
 CKD. JPN
 DRWL. NKS

DATE 2/1/17

FOR BID ONLY NOT FOR CONSTRUCTION

11

INVENTORY SITE PLAN
BAKER BMW OF WILMINGTON
4900 NEW CENTRE DRIVE
WILMINGTON, N. C.

DEVELOPER
 BAKER MOTOR COMPANY, LLC
 4920 NEW CENTRE DRIVE
 WILMINGTON, NC 28403
 910 624-8060

NORRIS & TUNSTALL
 CONSULTING ENGINEERS P.C.

902 MARKET STREET
 WILMINGTON, NC 28401
 PHONE (910) 343-9653

1429 ASH-LITTLE RIVER RD. NW
 WILMINGTON, NC 28401
 PHONE (910) 281-5900

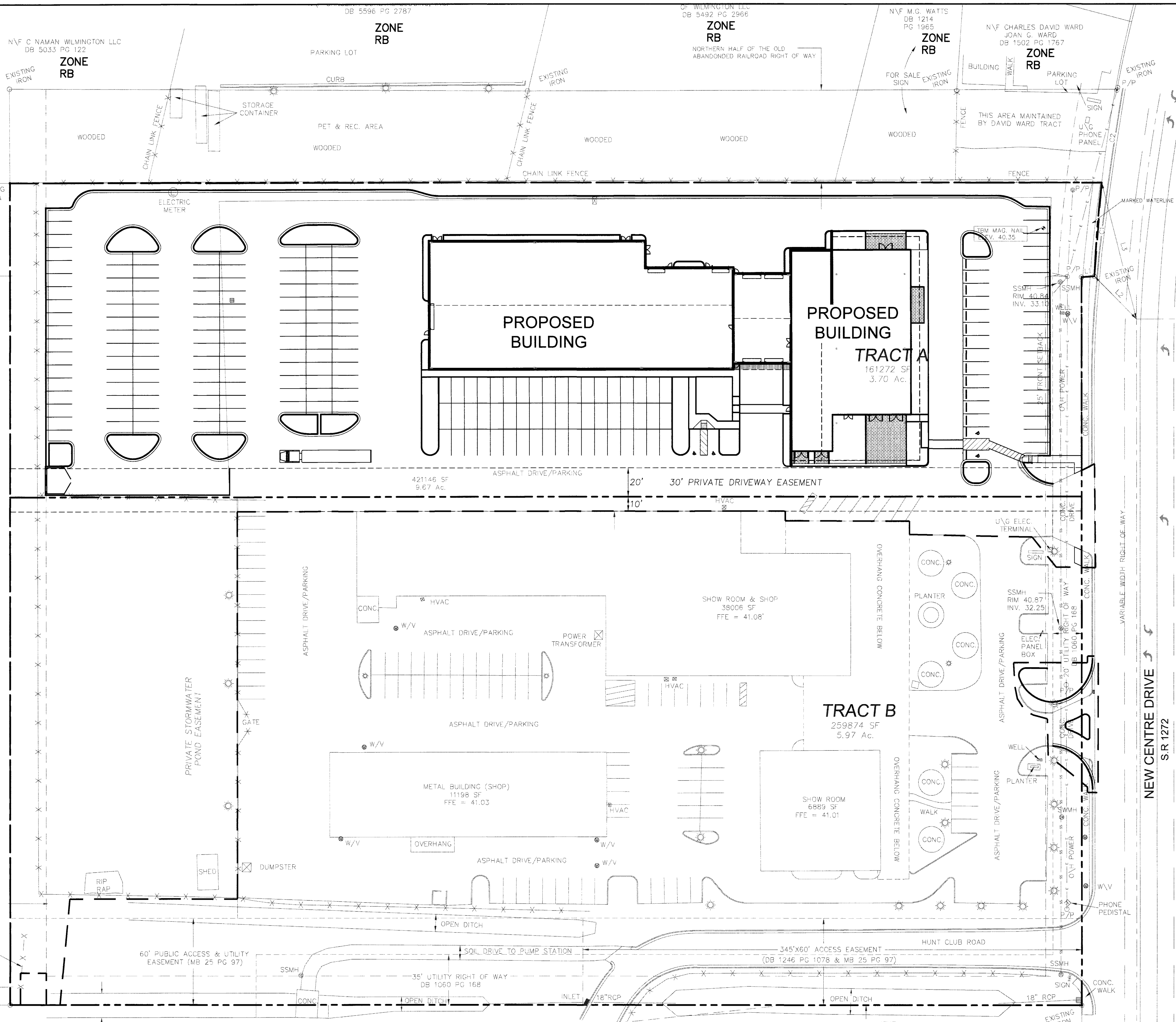
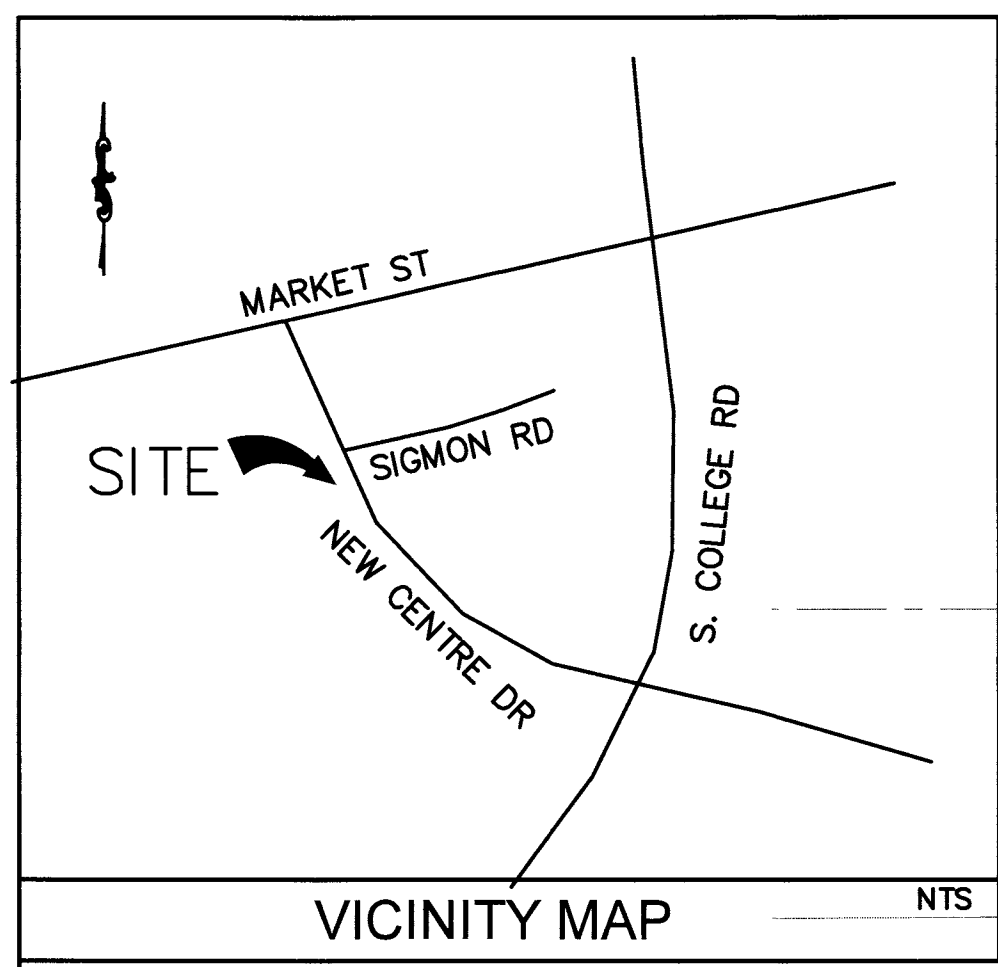
16038

DES. JST
 CKD. JPN
 DRWL. NKS

DATE 2/1/17

FOR BID ONLY NOT FOR CONSTRUCTION

11

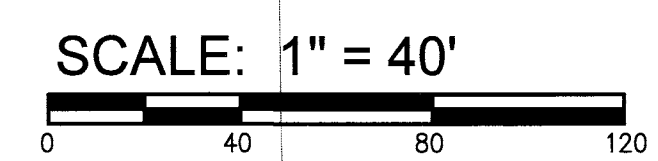


SITE DATA TABLE	
NEW PARCEL A ID#:	R04915-003-054-000
NEW PARCEL A PIN#:	313820.81.4241.000
SITE ADDRESS:	4900 NEW CENTER DRIVE
PARCEL OWNER:	JASPER BOULEVARD LLC
NEW PARCEL A AREA:	3.70 AC (161,272 SF)
NEW PARCEL B ID#:	R04915-003-003-001
NEW PARCEL B PIN#:	313820.80.5964.000
SITE ADDRESS:	4920 NEW CENTER DRIVE
PARCEL OWNER:	JASPER BOULEVARD LLC
NEW PARCEL B AREA:	5.97 AC (259,874 SF)
PROPOSED PARCEL USE:	AUTOMOBILE DEALER PARKING
CURRENT ZONING:	RB-REGIONAL BUSINESS
CAMA LAND CLASSIFICATION:	URBAN
SOIL TYPE:	MU
BUILDING SETBACKS RB:	FRONT SETBACK: 25' INTERIOR SIDE SETBACK: 0' CORNER SIDE SETBACK: 25' REAR SETBACKS: 15'/25'
BUILDING SETBACKS PROPOSED:	FRONT SETBACK: 112'± SIDE SETBACK SE: 24'± SIDE SETBACK NW: 54'± REAR SETBACKS: 290'±
BUILDING AREA (FOOTPRINT):	10,208 SF SALES AREA 2,413 SF SERVICE DRIVE 17,817 SF SERVICE SHOP 30,238 SF TOTAL
ZONE:	RB
DISTURBED AREA:	214,399 SF = 4.92 AC
MAX. LOT COVERAGE RB:	40%
PROPOSED LOT COVERAGE:	18.75%
MAX. BUILDING HEIGHT RB:	35+
BUILDING HEIGHT:	VARIES 27'-31'
BUILDING CONSTRUCTION TYPE:	---
IMPERVIOUS AREA PARCEL A:	
EXISTING IMPERVIOUS AREA:	117,362 SF
EXISTING IMPERVIOUS AREA REMOVED:	116,807 SF
EXISTING IMPERVIOUS AREA TO REMAIN:	555 SF
PROPOSED IMPERVIOUS AREA:	
BUILDING AREA:	30,238 SF
SIDEWALK AREA:	5,990 SF
ASPHALT, CONCRETE, CURB & GUTTER, APRON AREA:	97,431 SF
TOTAL NEW IMPERVIOUS AREA:	134,547 SF
PERCENT IMPERVIOUS AREA:	83.42%
TOTAL PARCEL A IMP. AREA (NEW & EXISTING)	135,102 SF
PERCENT IMPERVIOUS AREA:	83.77%
IMPERVIOUS AREA PARCEL B:	
EXISTING IMPERVIOUS AREA:	159,202 SF
EXISTING IMPERVIOUS AREA REMOVED:	7,017 SF
EXISTING IMPERVIOUS AREA TO REMAIN:	152,185 SF
PROPOSED IMPERVIOUS AREA:	
ASPHALT, CONCRETE, CURB & CUTTER AREA:	7,017 SF
TOTAL NEW IMPERVIOUS AREA:	7,017 SF
TOTAL SITE PARCEL B IMPERVIOUS AREA:	159,202 SF
PERCENT IMPERVIOUS AREA:	61.26%
PARKING REQUIREMENT (SEE SITE PLAN KEY NOTES SHEET C4)	
PARKING REQ'D: AUTOMOBILE DEALER NO MAX, 1,500 SF GFA MIN.	
TOTAL PARKING REQUIRED:	60 MIN.
TOTAL PARKING PROPOSED:	203 TOTAL
EMPLOYEE AND CUSTOMER PARKING:	60 SPACES
VEHICLE DISPLAY:	143 SPACES
HC ACCESSIBLE REQUIRED:	3 PROPOSED: 4
BICYCLE PARKING REQUIRED:	5 PROPOSED: 5
LANDSCAPING REQUIREMENTS (REFER TO LANDSCAPE PLAN)	
15 TREES PER DISTURBED ACRE REQUIRED	
STREETYARD LANDSCAPING: 25 MULTIPLIER	
216-18 (25) = 4,950 SF REQUIRED	5,086 SF PROPOSED
FOUNDATION PLANTINGS: 12% BUILDING HEIGHT X LENGTH	
PARKING AREA SCREENING ALONG ROW: BUFFER 3' HIGH BY 5' WIDE SEE LANDSCAPE PLANS	
TRASH REMOVAL: DUMPSTER SERVICE	
WATER AND SEWER CAPACITY NEEDS	
48 EMPLOYEES @ 25 GAL/EMPLOYEE/DAY=1,200 GPD	
12 VISITORS @ 25 GAL/EMPLOYEE/DAY=300 GPD	
TOTAL: 1,500 GPD	

LEGEND

	PROPERTY LINE
	DISTURBED AREA LIMITS
	PROPOSED CONTOUR
	TEMPORARY SILT FENCE
	PROPOSED STORMDRAIN PIPE
	PROPOSED WATERLINE
	PROPOSED SANITARY SEWER
	PROPOSED FINISH GRADE SPOT ELEVATION
	FLARED END SECTION WITH RIP-RAP ENERGY DISSIPATOR
	DROP INLET WITH INLET PROTECTION (DI)
	CURB INLET WITH INLET PROTECTION (CI)
	JUNCTION BOX WITH INLET PROTECTION (JB)
	PROPOSED FIRE HYDRANT

	EXISTING CONTOUR
	EXISTING TREE TO BE SAVED
	EXISTING TREE TO BE REMOVED
	TREE PROTECTION FENCING
	LIGHT ASPHALT
	HEAVY ASPHALT
	CONCRETE
	INTERIOR LANDSCAPING



For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

Approved Construction Plan

Name: _____ Date: _____

Planning: _____

Traffic: _____

Fire: _____

Signed: _____

City of WILMINGTON NORTH CAROLINA

Public Services - Engineering Division

APPROVED STORMWATER MANAGEMENT PLAN

Date: _____ Permit # _____

Signed: _____

OVERALL SITE PLAN
BAKER BMW OF WILMINGTON
4900 NEW CENTER DRIVE
WILMINGTON, N. C.

DEVELOPER
BAKER MOTOR COMPANY, LLC
4920 NEW CENTER DRIVE
WILMINGTON, NC 28403
910.624.6060

NORRIS & TUNSTALL
CONSULTING ENGINEERS P.C.

1429 ASH-LITTLE RIVER RD. NW
ASH, NC 28640
PHONE (910) 343-5960

902 MARKET STREET
WILMINGTON, NC 28401
PHONE (910) 343-9653

License #C-3641

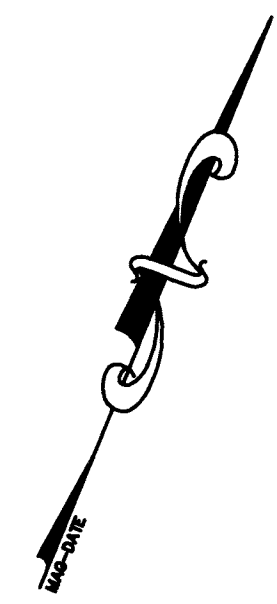
16038

DES. JST
ORD. JPN
DRWN. NKS

DATE 2/1/17

FOR BID ONLY NOT FOR CONSTRUCTION

CO



LEGEND

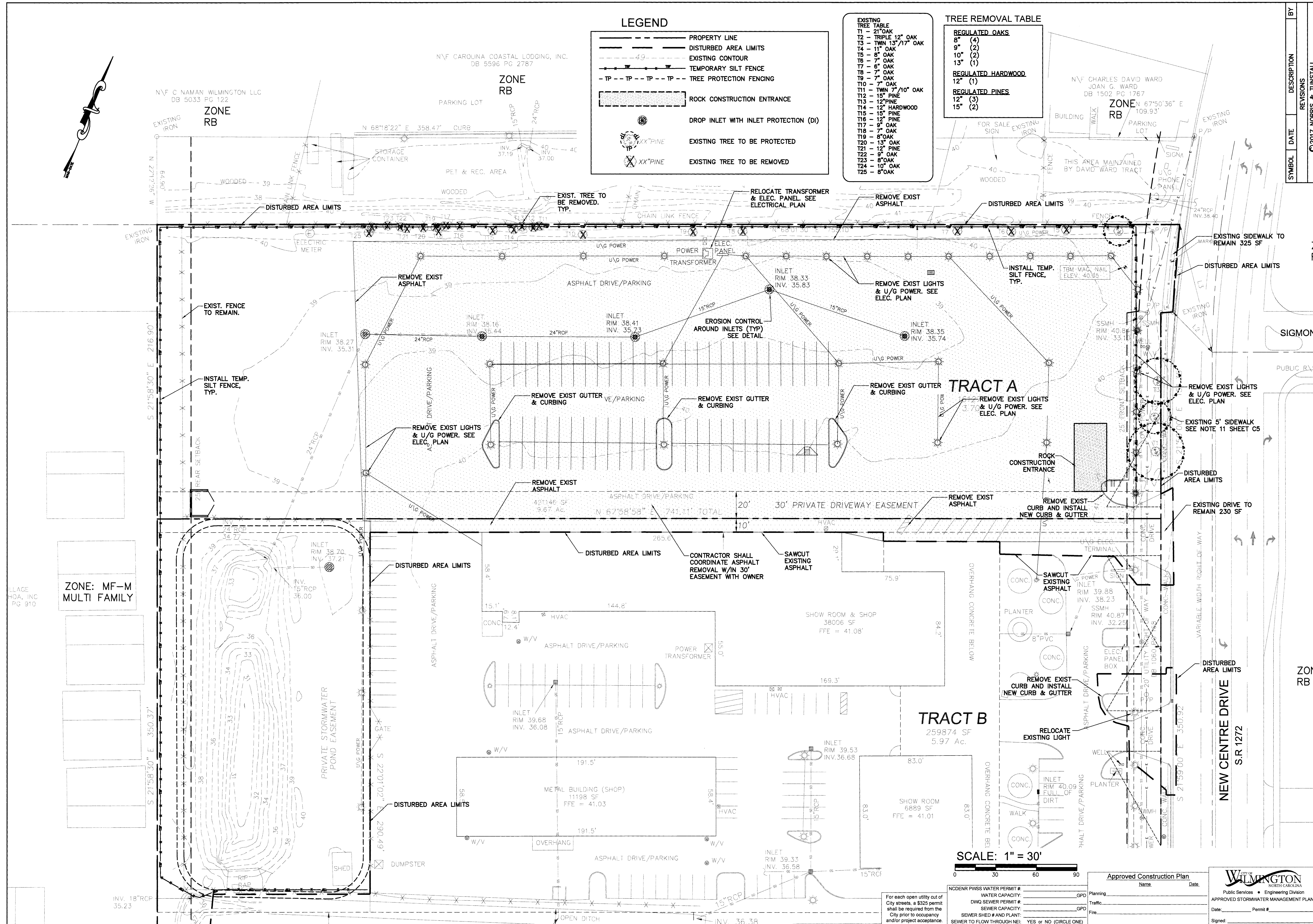
---	PROPERTY LINE
---	DISTURBED AREA LIMITS
---	EXISTING CONTOUR
---	TEMPORARY SILT FENCE
- TP - TP - TP - TP -	TREE PROTECTION FENCING
[Hatched Box]	ROCK CONSTRUCTION ENTRANCE
[Circle with DI]	DROP INLET WITH INLET PROTECTION (DI)
[Circle with Tree]	EXISTING TREE TO BE PROTECTED
[Circle with X]	EXISTING TREE TO BE REMOVED

TREE REMOVAL TABLE

REGULATED OAKS	
8"	(4)
9"	(2)
10"	(2)
13"	(1)
REGULATED HARDWOOD	
12"	(1)
REGULATED PINES	
12"	(3)
15"	(2)

EXISTING TREE TABLE

T1	- 21" OAK
T2	- TRIPLE 12" OAK
T3	- TWIN 13"/17" OAK
T4	- 11" OAK
T5	- 8" OAK
T6	- 7" OAK
T7	- 6" OAK
T8	- 7" OAK
T9	- 7" OAK
T10	- 7" OAK
T11	- TWIN 7"/10" OAK
T12	- 15" PINE
T13	- 12" PINE
T14	- 12" HARDWOOD
T15	- 15" PINE
T16	- 12" PINE
T17	- 8" OAK
T18	- 7" OAK
T19	- 8" OAK
T20	- 13" OAK
T21	- 12" PINE
T22	- 9" OAK
T23	- 8" OAK
T24	- 10" OAK
T25	- 8" OAK



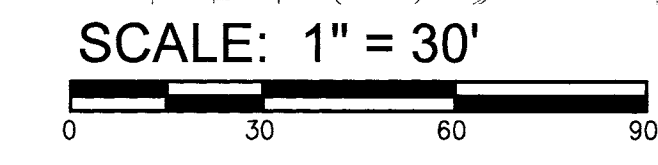
BY	DESCRIPTION
	REVISIONS
	© 2017 NORRIS & TUNSTALL

DEMOLITION & TREE REMOVAL PLAN
BAKER BMW OF WILMINGTON
4900 NEW CENTRE DRIVE
WILMINGTON, N. C.

DEVELOPER
BAKER MOTOR COMPANY, LLC
4920 NEW CENTRE DRIVE
WILMINGTON, NC 28403
910 624-6060

NORRIS & TUNSTALL
CONSULTING ENGINEERS P.C.
 1429 ASH-LITTLE RIVER RD. NW
 ASH, NC 28420
 PHONE (910) 287-5900

16038
 DATE 2/1/17
 License #C-3641
 FOR BID ONLY NOT FOR CONSTRUCTION
C1



Approved Construction Plan

Name: _____ Date: _____

Planning: _____ GPD: _____

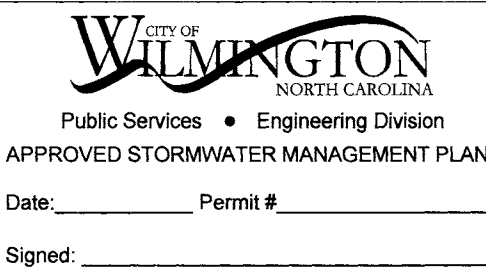
Traffic: _____ GPD: _____

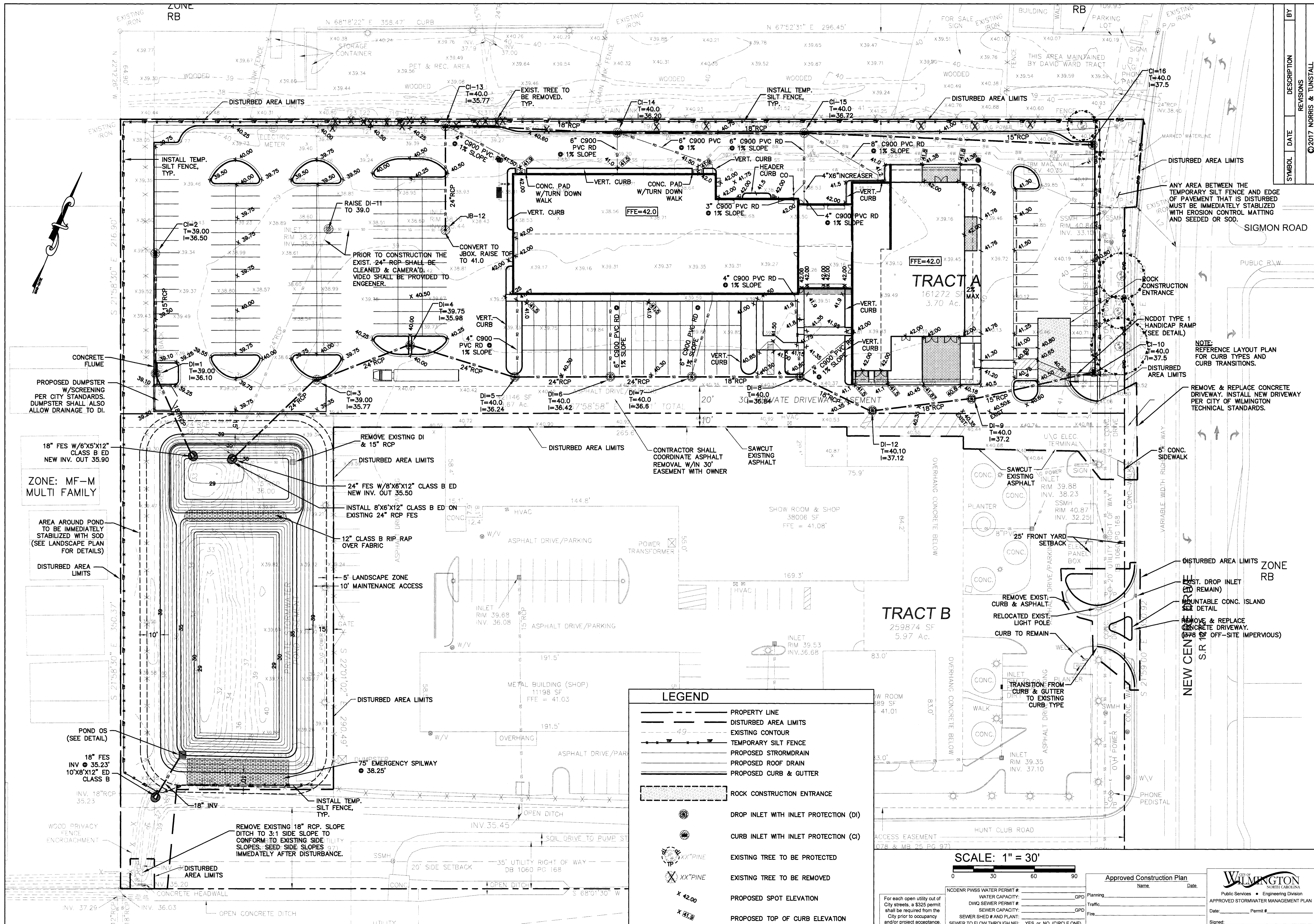
Fire: _____ GPD: _____

SEWER SHED # AND PLANT: _____

SEWER TO FLOW THROUGH NEI: YES or NO (CIRCLE ONE)

Signature: _____ Permit # _____





LEGEND

- PROPERTY LINE
- DISTURBED AREA LIMITS
- EXISTING CONTOUR
- TEMPORARY SILT FENCE
- PROPOSED STORMDRAIN
- PROPOSED ROOF DRAIN
- PROPOSED CURB & GUTTER
- ROCK CONSTRUCTION ENTRANCE
- DROP INLET WITH INLET PROTECTION (DI)
- CURB INLET WITH INLET PROTECTION (CI)
- EXISTING TREE TO BE PROTECTED
- EXISTING TREE TO BE REMOVED
- PROPOSED SPOT ELEVATION
- PROPOSED TOP OF CURB ELEVATION

SCALE: 1" = 30'



NCDENR PWSS WATER PERMIT # _____ GPD Planning _____
 DWQ SEWER PERMIT # _____ GPD Traffic _____
 SEWER CAPACITY _____ GPD Fire _____
 SEWER SHED # AND PLAN: _____
 SEWER TO FLOW THROUGH NEI: YES OR NO (CIRCLE ONE)

Approved Construction Plan
 Name: _____ Date: _____
 Public Services • Engineering Division
 APPROVED STORMWATER MANAGEMENT PLAN
 Date: _____ Permit # _____
 Signed: _____

GRADING, DRAINAGE & EROSION CONTROL PLAN
BAKER BMW OF WILMINGTON
4900 NEW CENTER DRIVE
WILMINGTON, N. C.

DEVELOPER
 BAKER MOTOR COMPANY, LLC
 4920 NEW CENTER DRIVE
 WILMINGTON, NC 28403
 910 624-6060

NORRIS & TUNSTALL
 CONSULTING ENGINEERS P.C.

1429 ASH LITTLE RIVER RD. NW
 WILMINGTON, NC 28401
 PHONE (910) 343-5000

License #C-3641
16038

DES. JST
 DRW. JPN
 NKS

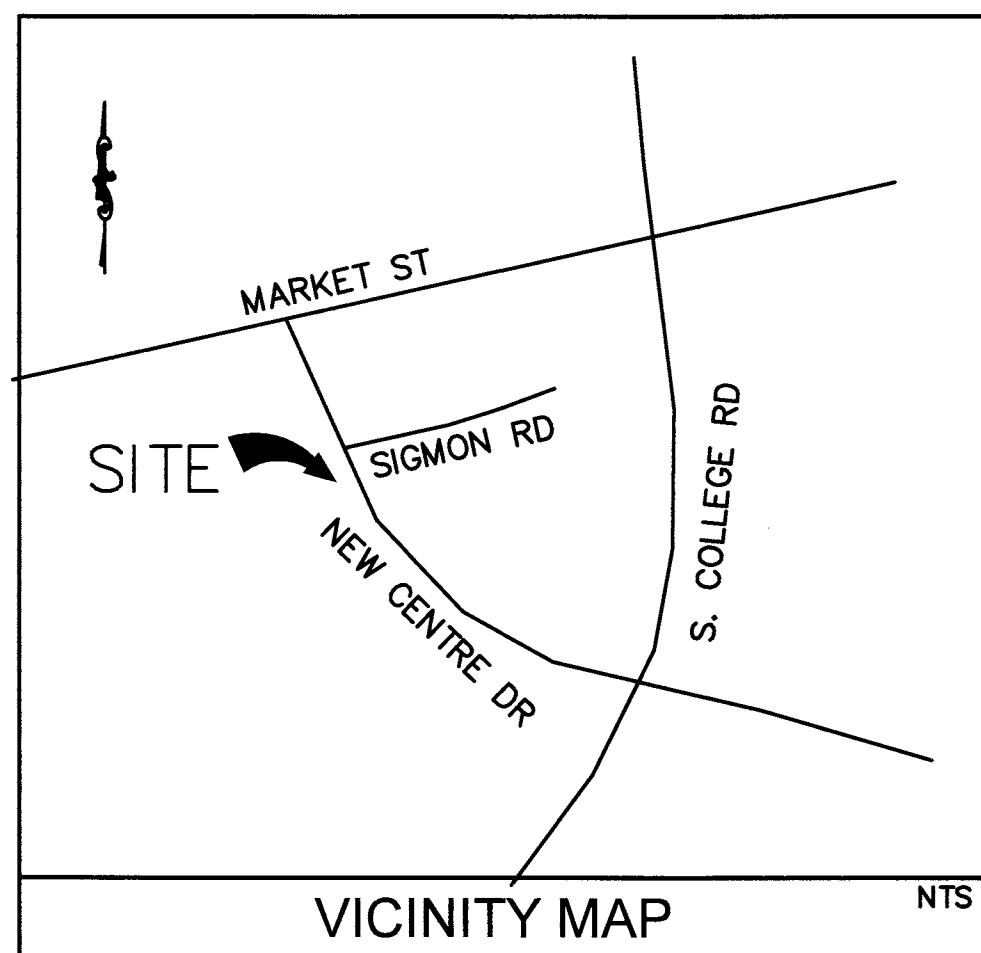
DATE 2/1/17

FOR BID ONLY NOT FOR CONSTRUCTION

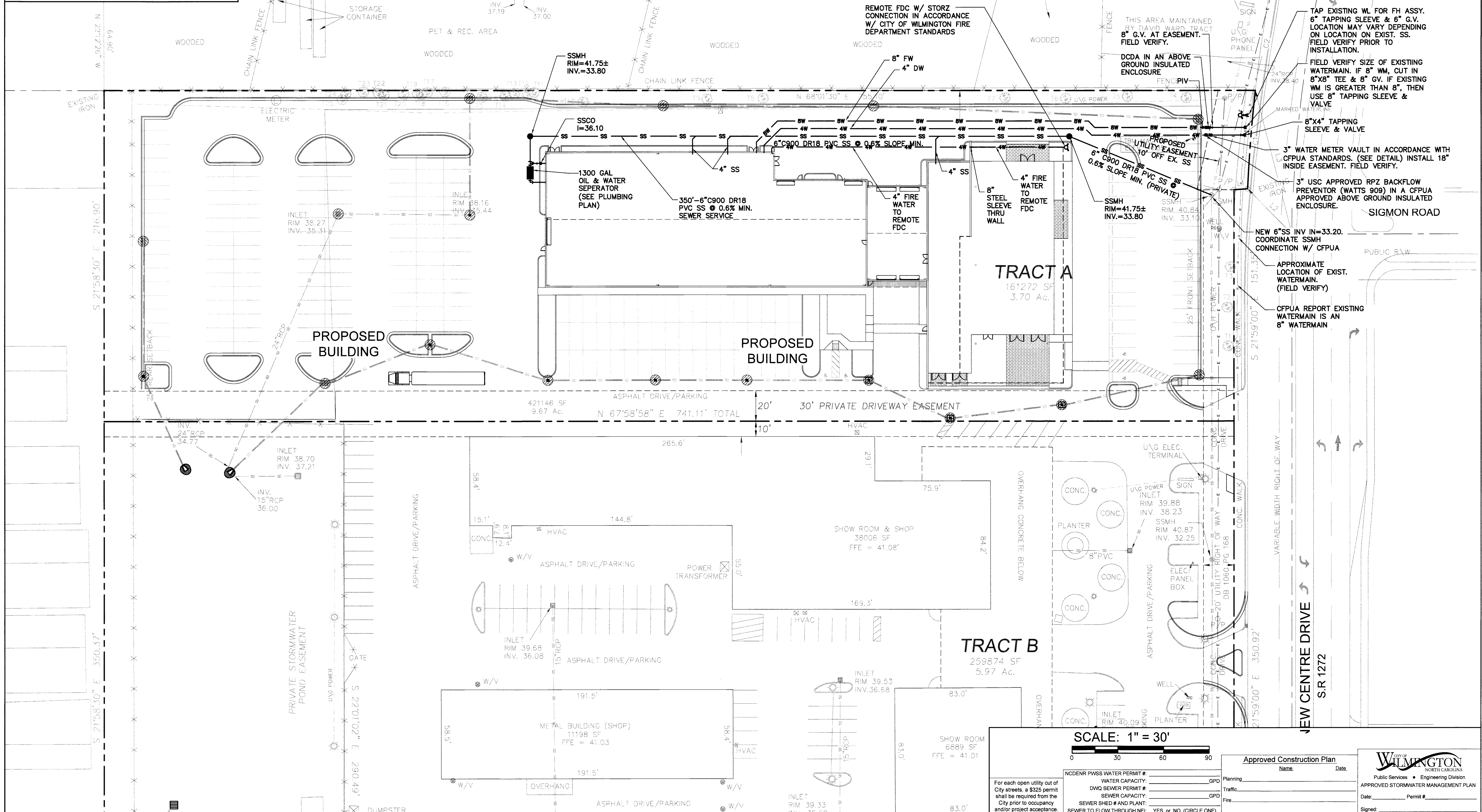
C2

BY	REVISIONS	DATE	DESCRIPTION

© 2017 NORRIS & TUNSTALL



VICINITY MAP NTS



SCALE: 1" = 30'

NCDEN PWSS WATER PERMIT #:	_____
WATER CAPACITY:	_____ GPD
DWQ SEWER PERMIT #:	_____
SEWER CAPACITY:	_____ GPD
SEWER SHED # AND PLANT:	_____
SEWER TO FLOW THROUGH NEI:	YES OR NO (CIRCLE ONE)

Approved Construction Plan

Name: _____ Date: _____

Planning: _____

Traffic: _____

Fire: _____

City of WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN

Date: _____ Permit # _____

Signed: _____

SYMBOL	DATE	DESCRIPTION	BY
		REVISIONS	

UTILITY PLAN
 BAKER BMW OF WILMINGTON
 4900 NEW CENTER DRIVE
 WILMINGTON, N. C.
 DEVELOPER
 BAKER MOTOR COMPANY, LLC
 4900 NEW CENTER DRIVE
 WILMINGTON, NC 28403
 910.624.6060

NORRIS & TUNSTALL
 CONSULTING ENGINEERS P.C.
 1429 ASH LITTLE RIVER RD. NW
 WILMINGTON, NC 28420
 PHONE (910) 343-9653

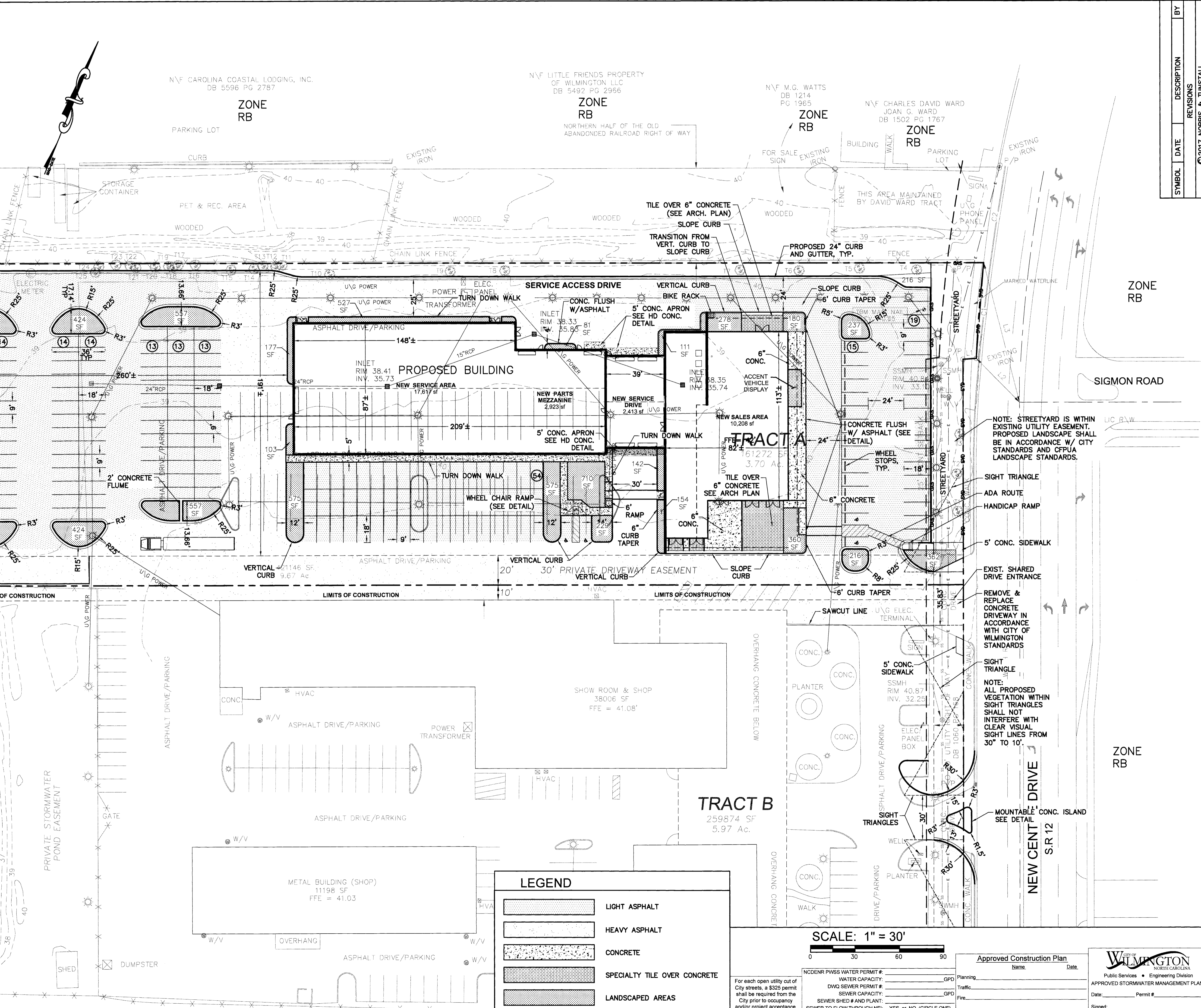
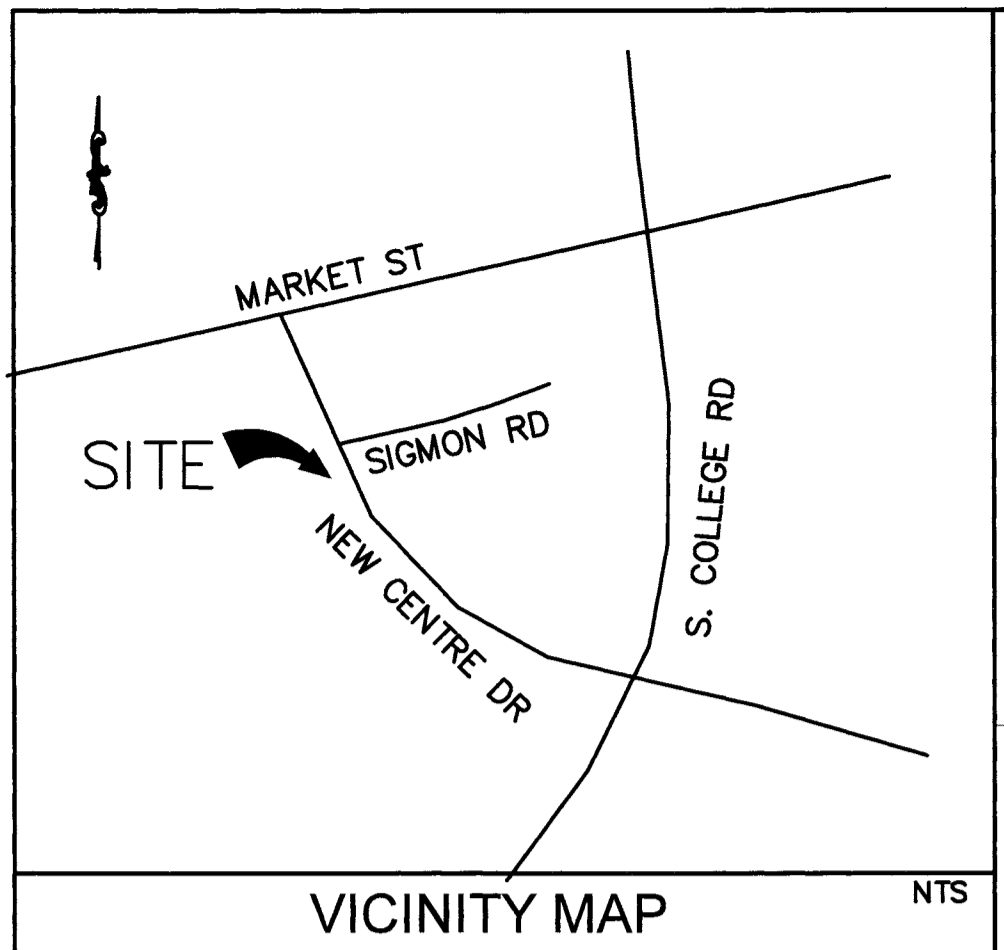
Licence #C-3641

16038

DESIGNED BY: JST
 DRAWN BY: JPN
 DATE: 4/13/17

C3

FOR PERMIT ONLY NOT FOR CONSTRUCTION



BY	DESCRIPTION
	REVISIONS
	DATE
	SYMBOL

LAYOUT PLAN
 BAKER BMW OF WILMINGTON
 4900 NEW CENTER DRIVE
 WILMINGTON, N. C.

DEVELOPER
 BAKER MOTOR COMPANY, LLC
 4900 NEW CENTER DRIVE
 WILMINGTON, NC 28403
 910.624.6060

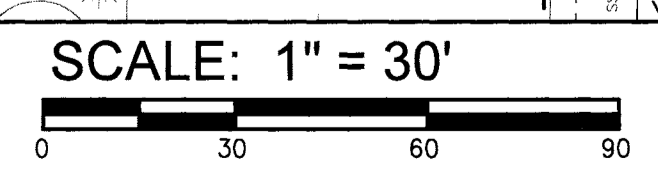
NORRIS & TUNSTALL
 CONSULTING ENGINEERS P.C.
 900 MARKET STREET
 WILMINGTON, NC 28401
 PHONE (910) 343-9653
 1429 ASHLITTLE RIVER RD. N.W.
 ASH, NC 28820
 PHONE (910) 287-5900

License #C-3641
16038
 DES. JST
 D.B. JFN
 DWG. NKS
 DATE 2/1/17

FOR BID ONLY NOT FOR CONSTRUCTION
C4

ONE: MF-MULTI FAMILY

LEGEND	
[Pattern]	LIGHT ASPHALT
[Pattern]	HEAVY ASPHALT
[Pattern]	CONCRETE
[Pattern]	SPECIALTY TILE OVER CONCRETE
[Pattern]	LANDSCAPED AREAS



For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

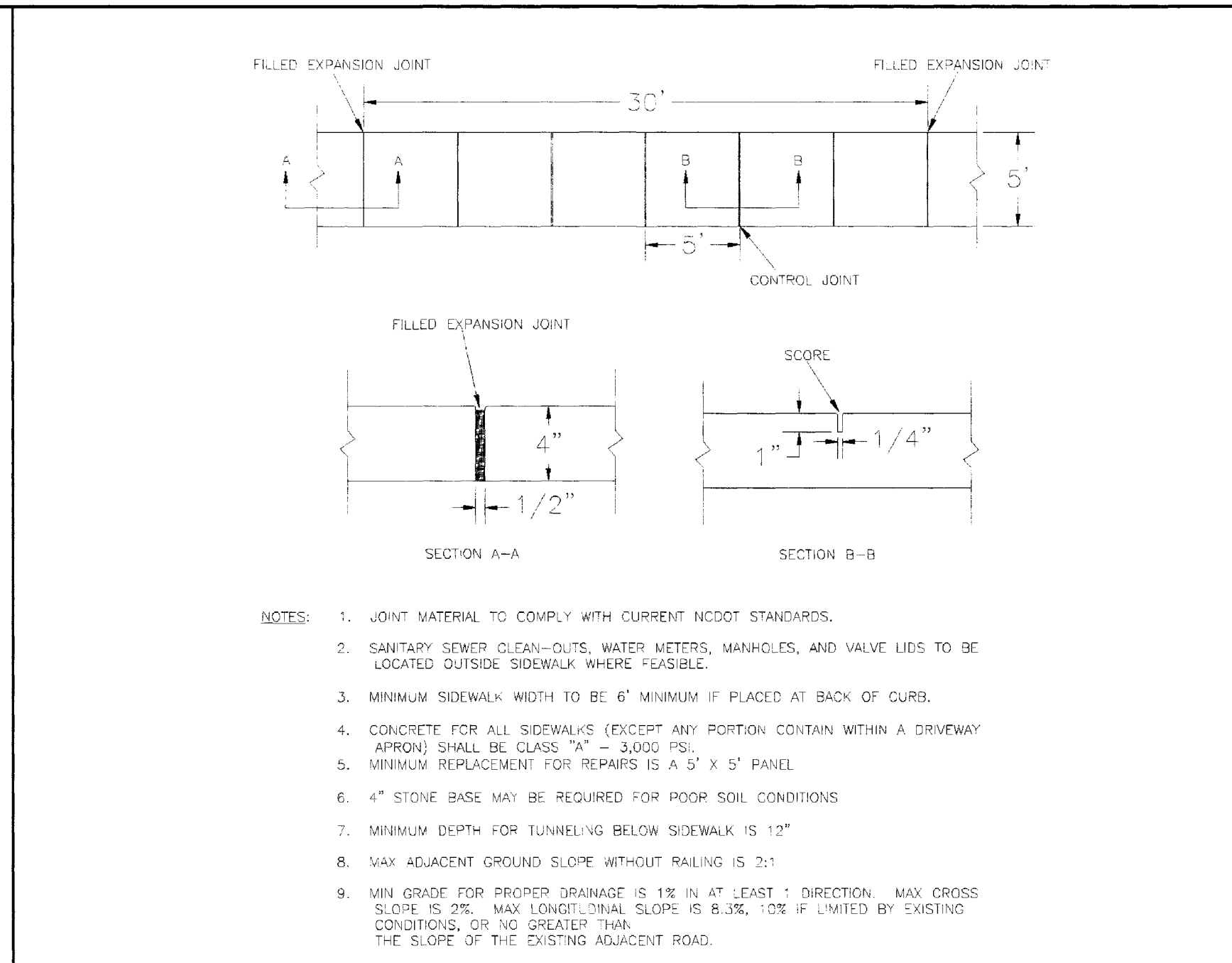
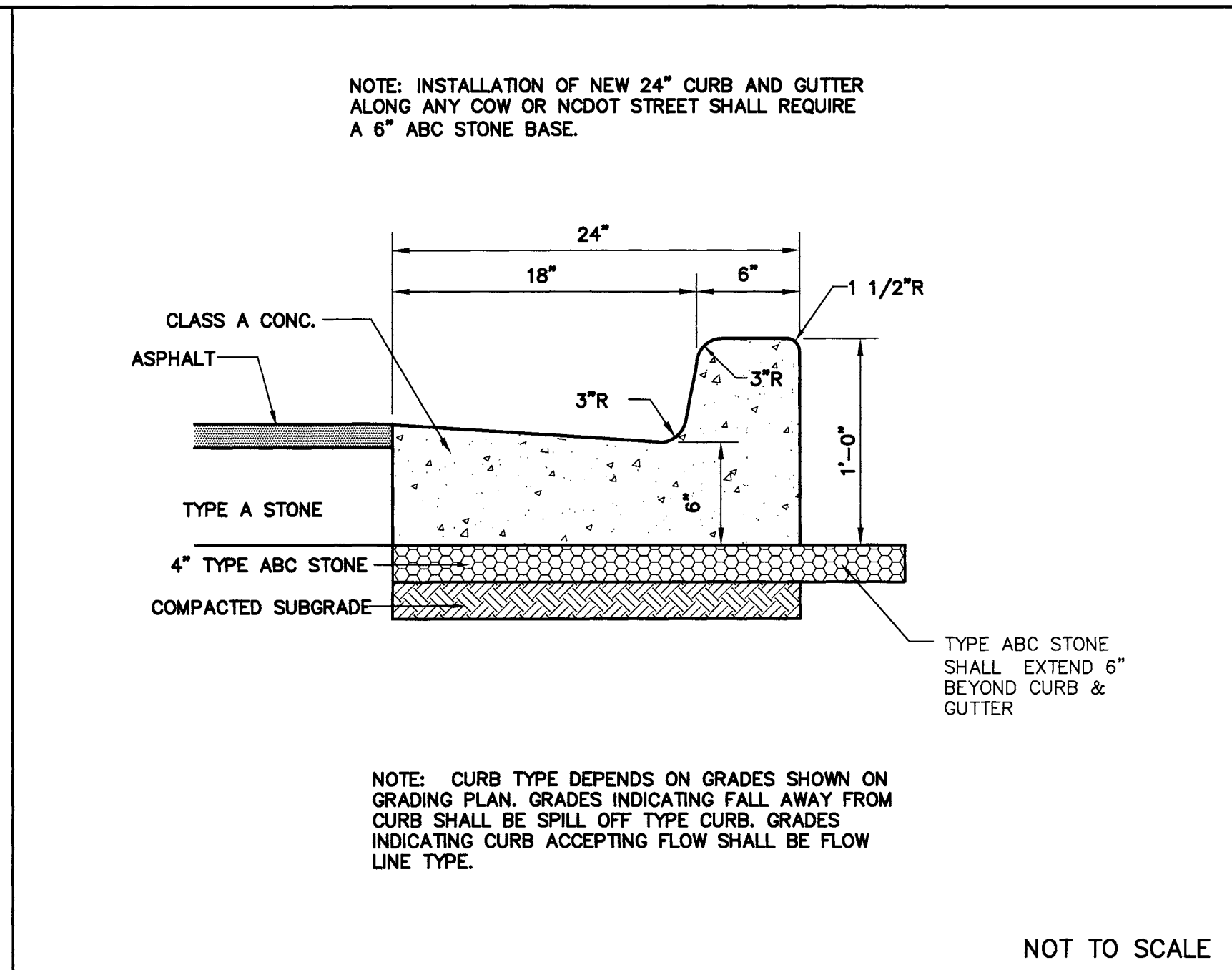
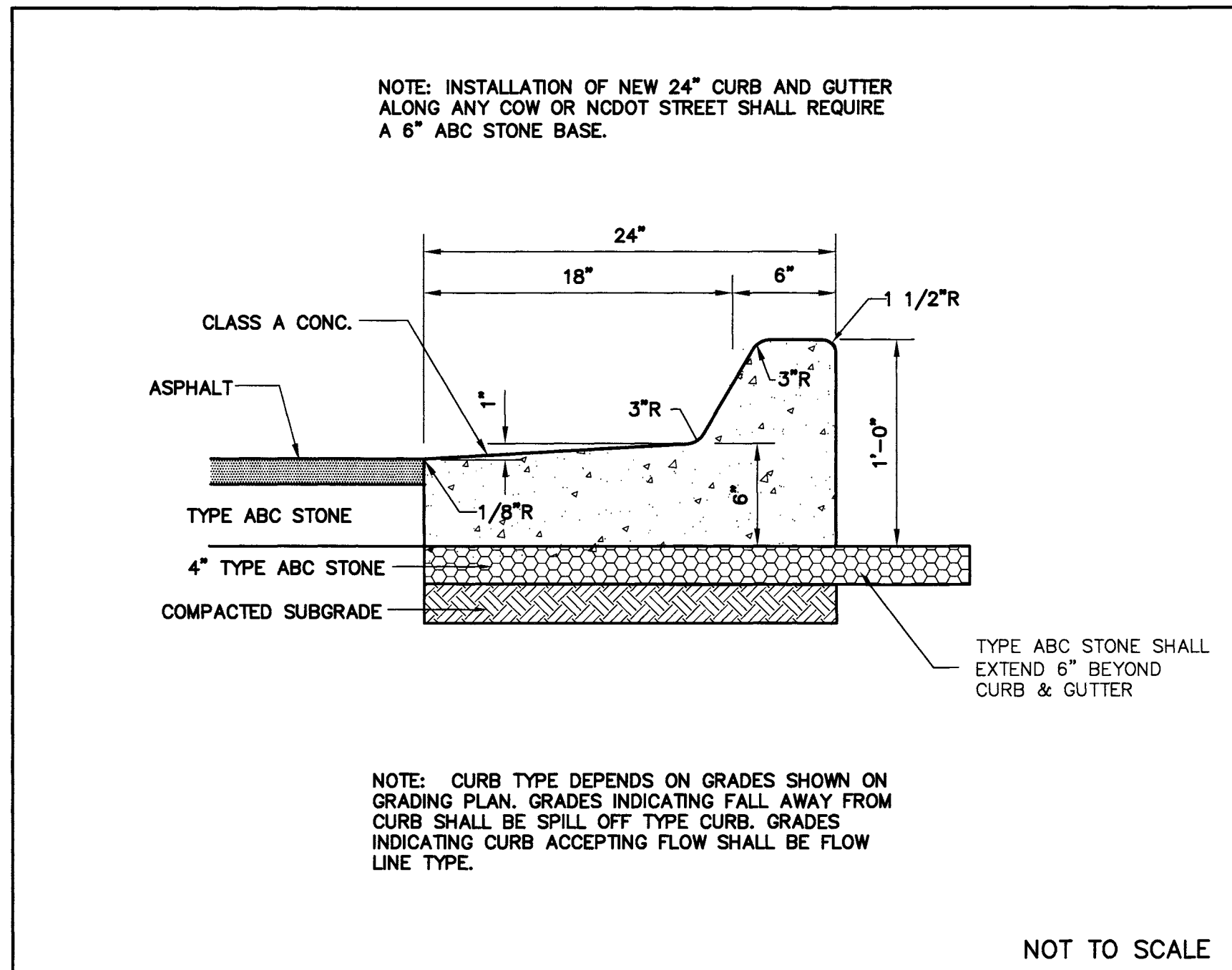
NODENR PWSS WATER PERMIT # _____ GPD
 WATER CAPACITY: _____ GPD
 DWQ SEWER PERMIT # _____ GPD
 SEWER CAPACITY: _____ GPD
 SEWER SHED # AND PLANT: _____
 SEWER TO FLOW THROUGH NEI: YES OR NO (CIRCLE ONE)

Approved Construction Plan

Name: _____ Date: _____

Planning: _____ Traffic: _____ Fire: _____

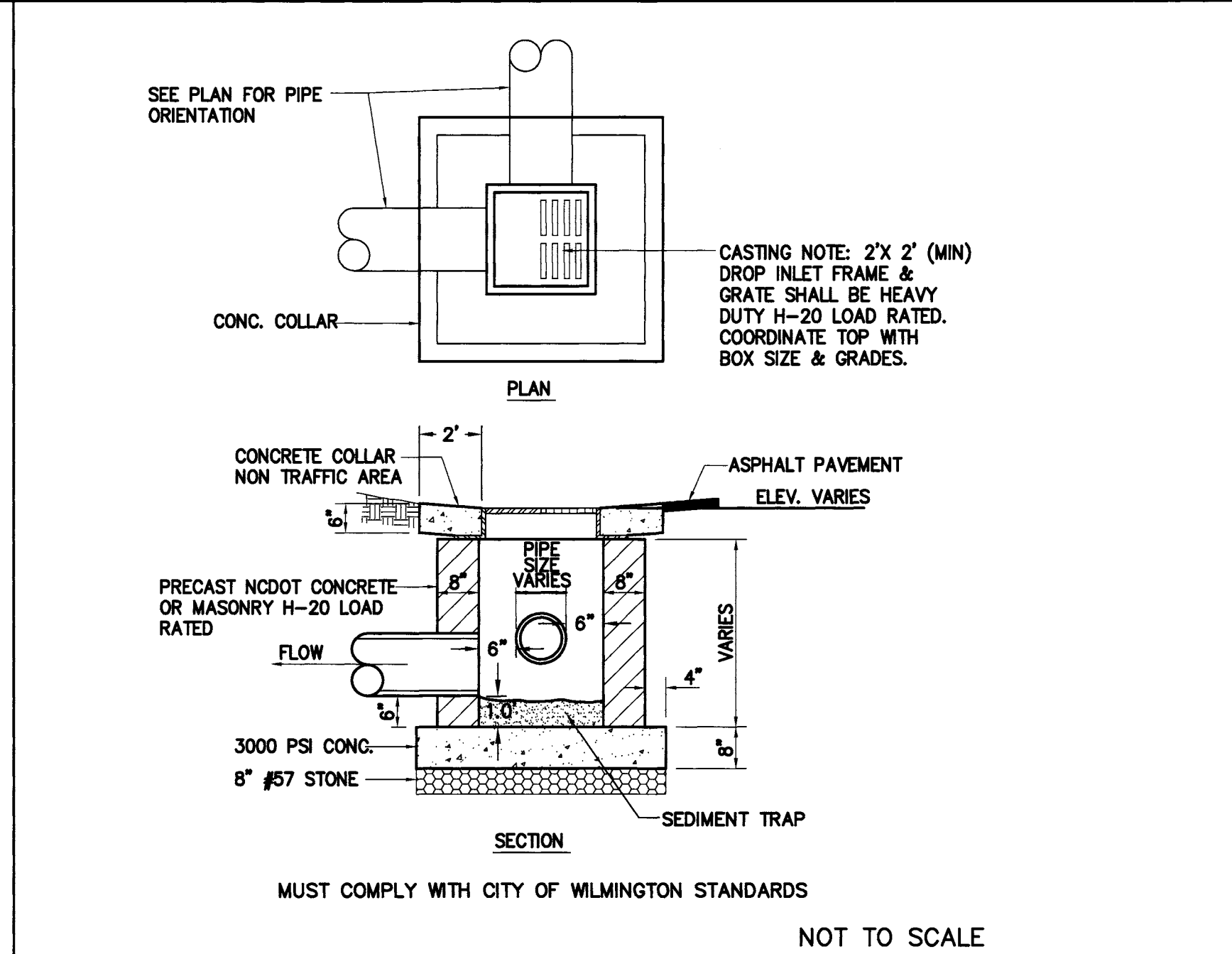
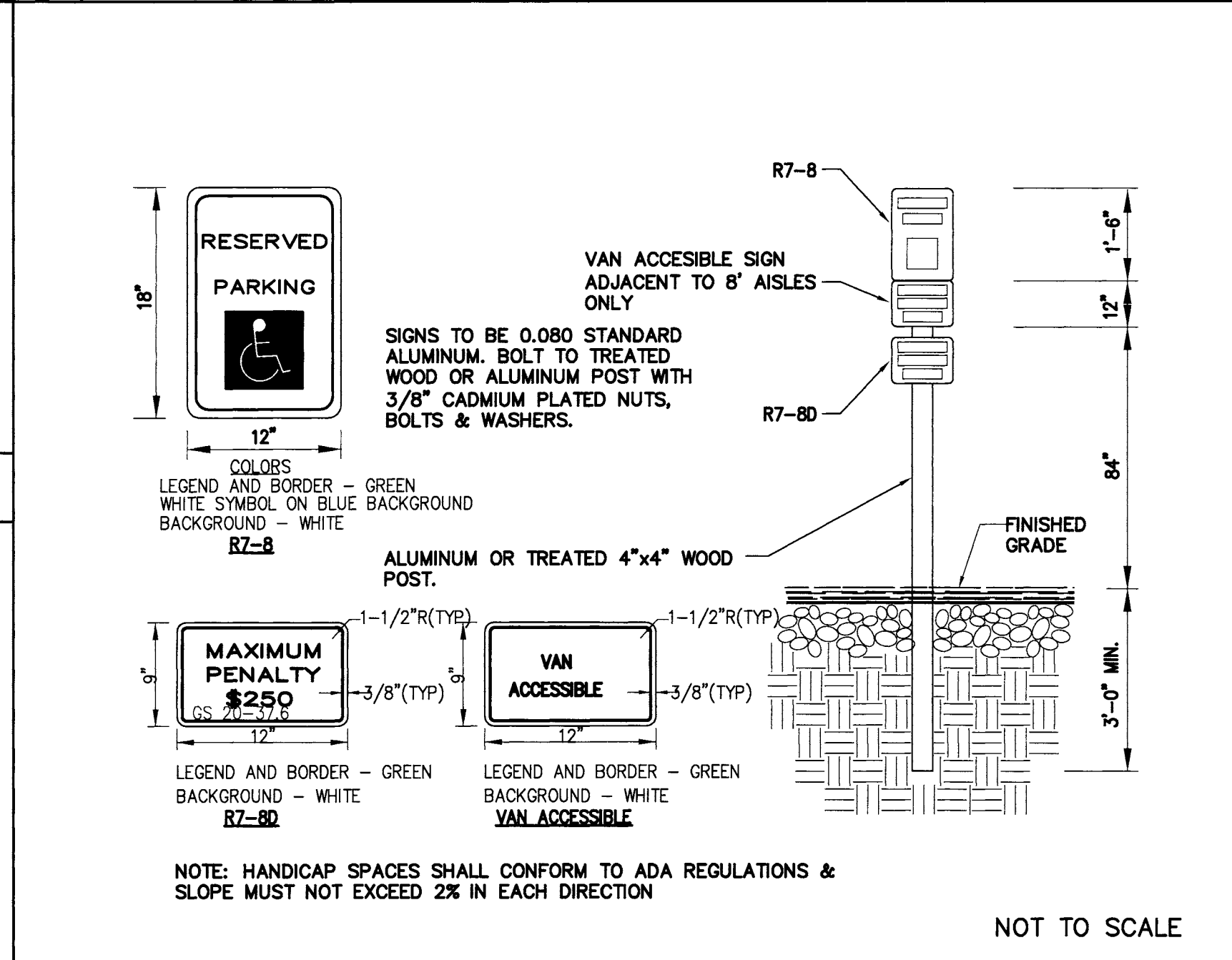
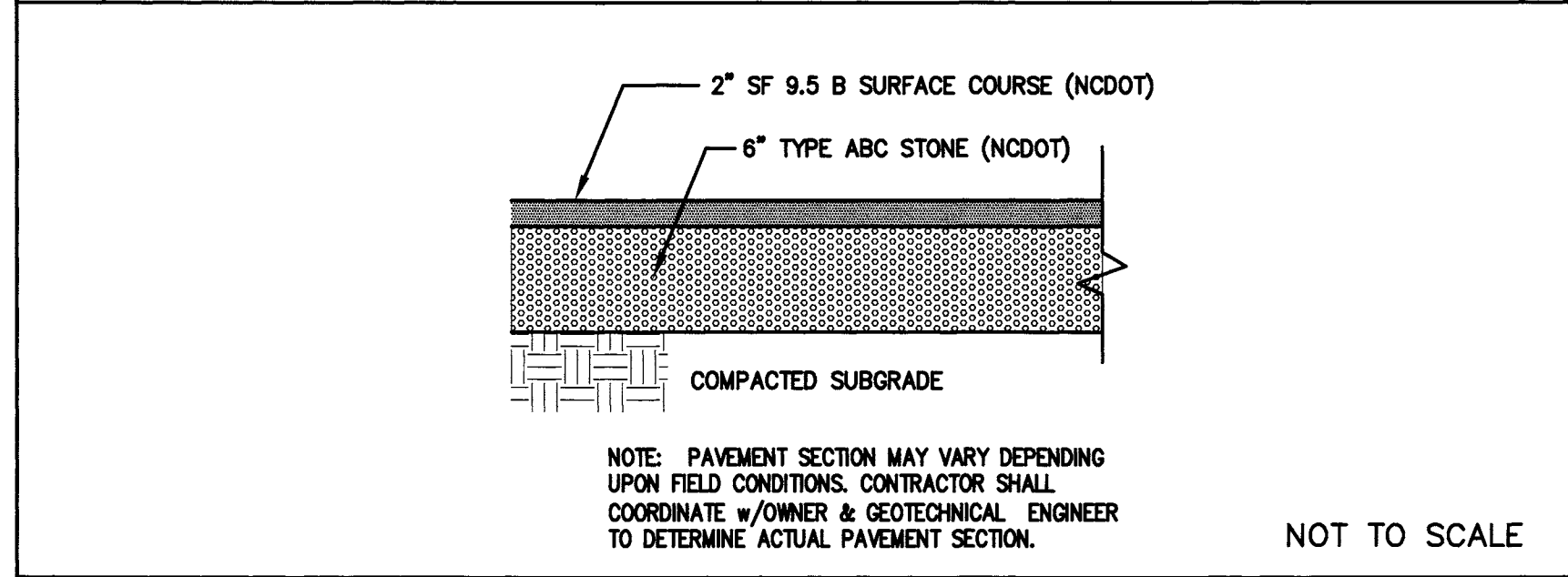
City of Wilmington
 Public Services • Engineering Division
 APPROVED STORMWATER MANAGEMENT PLAN
 Date: _____ Permit # _____
 Signed: _____



1 24" CURB AND GUTTER SECTION (SPILL-OFF)

2 24" CURB AND GUTTER SECTION (FLOW-LINE)

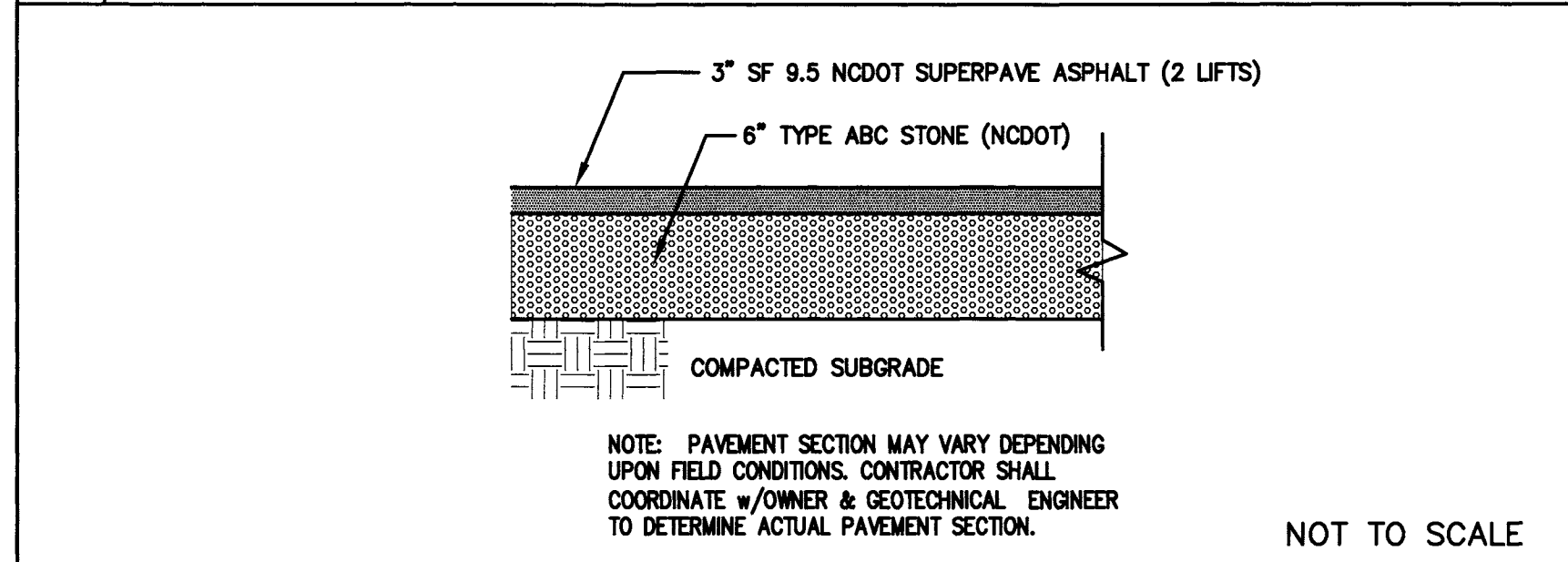
3 STANDARD SIDEWALK DETAIL: SD 3-10



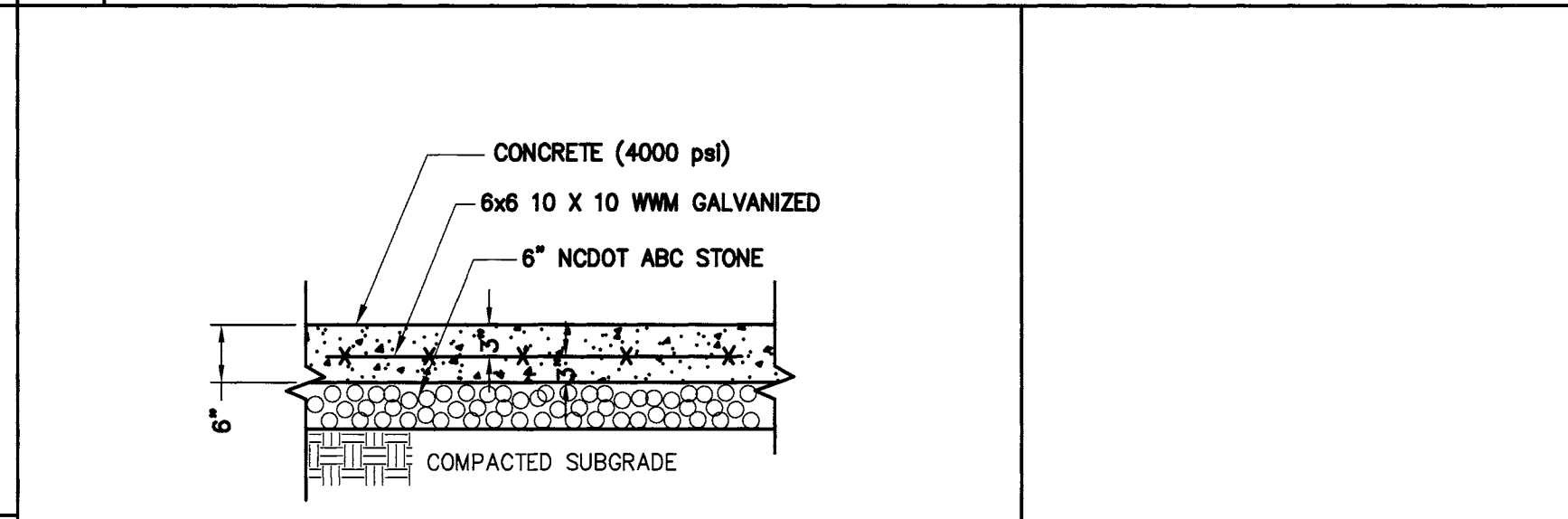
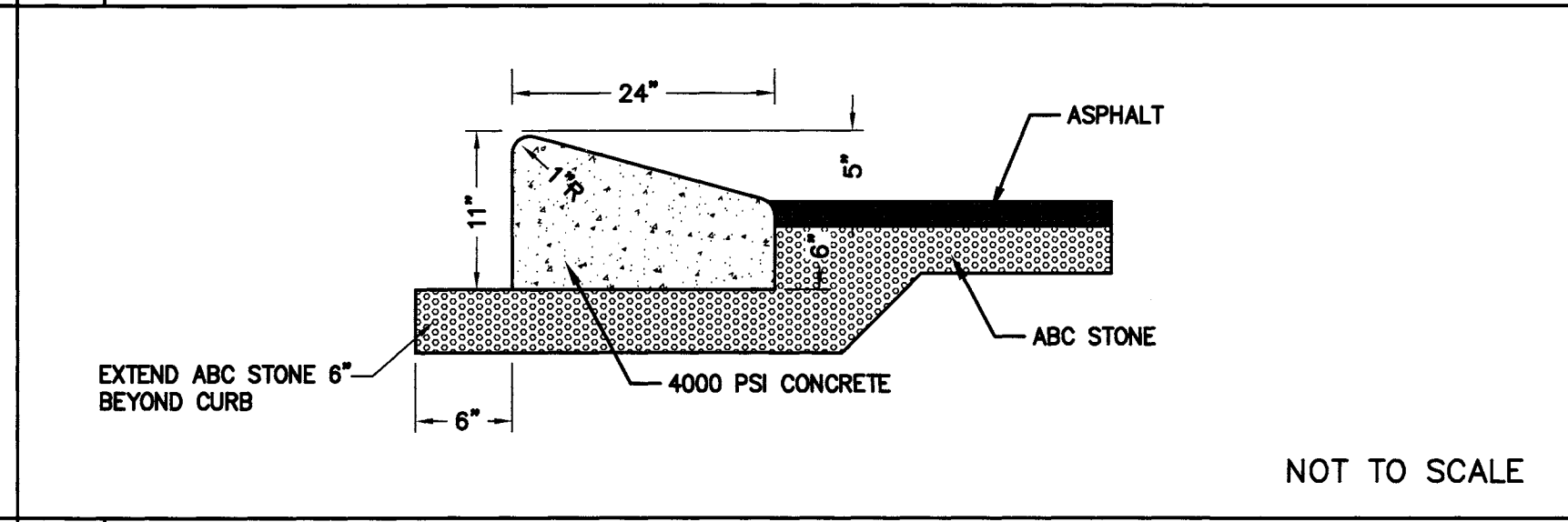
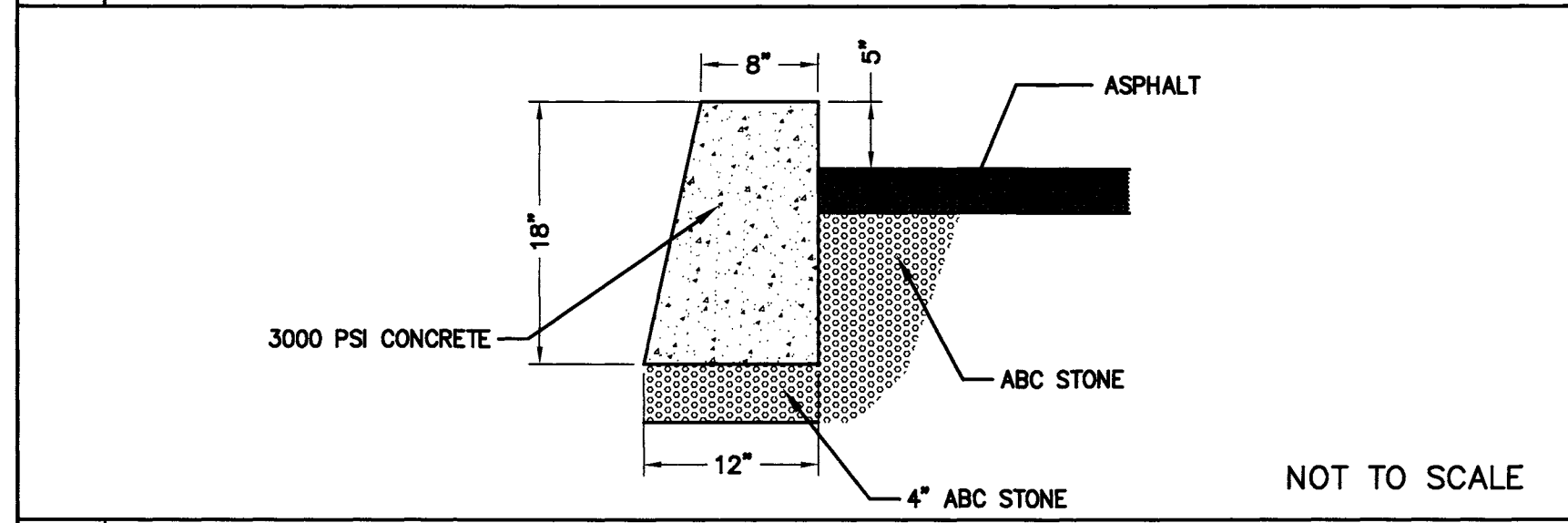
4 LIGHT DUTY ASPHALT PAVEMENT SECTION

5 TYPICAL HANDICAPPED SIGN DETAIL

6 DROP INLET DETAIL



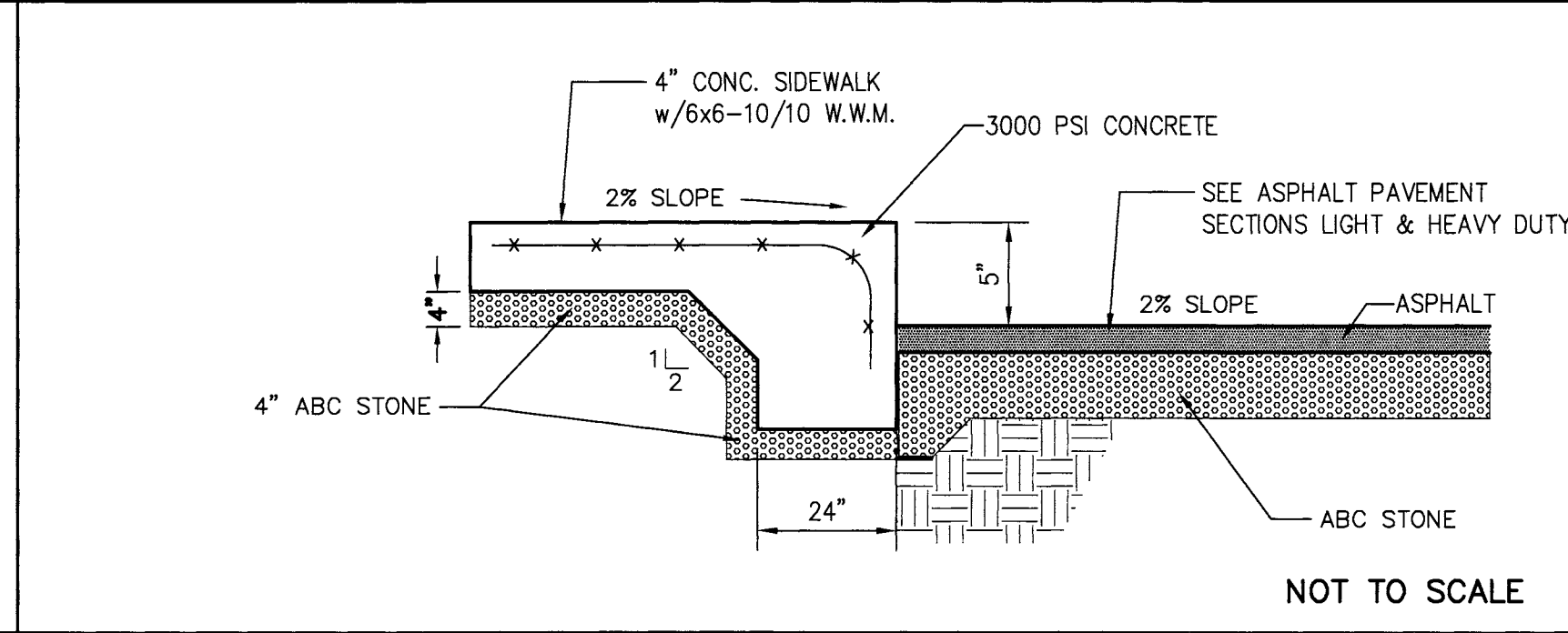
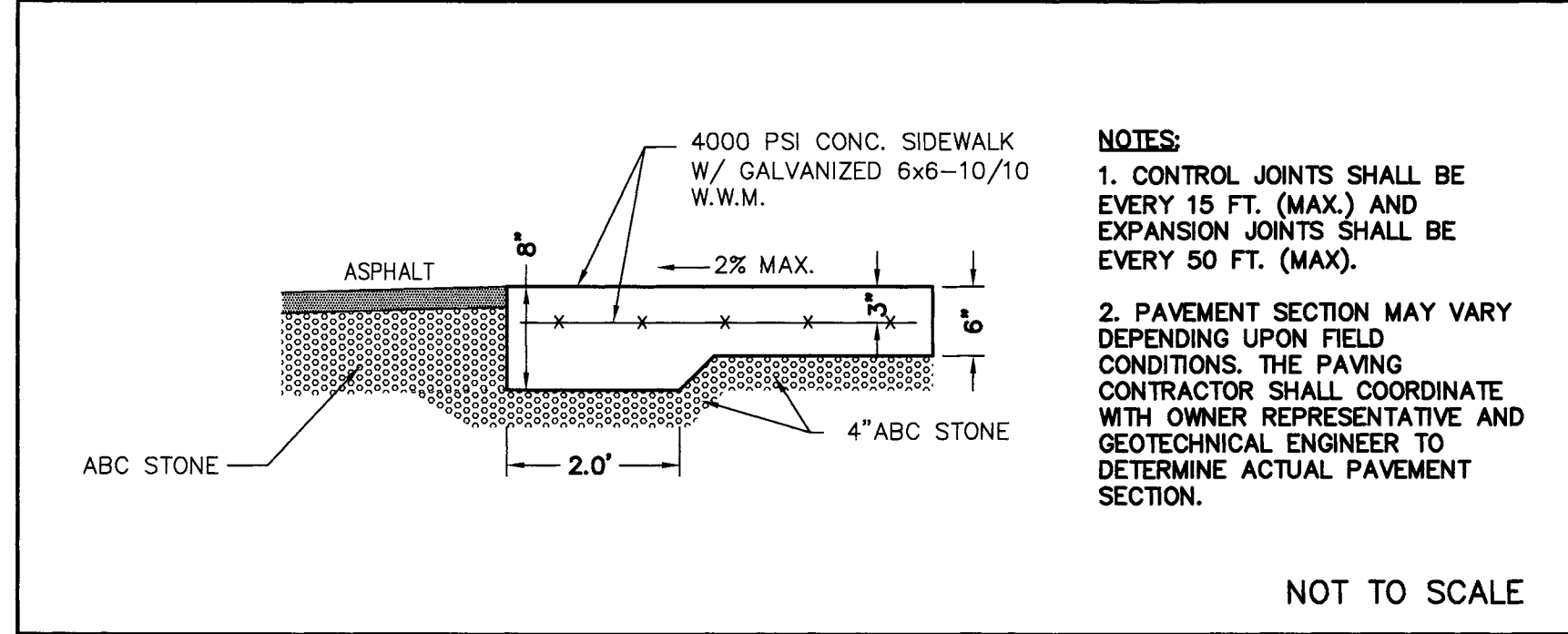
4 HEAVY DUTY ASPHALT PAVEMENT SECTION



8 VERTICAL CURB SECTION

8 SLOPE CURB SECTION

10 HEAVY DUTY CONCRETE PAVEMENT SECTION



7 CONCRETE WALK FLUSH WITH ASPHALT

9 TURN DOWN CURB SECTION

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

City of WILMINGTON NORTH CAROLINA
Public Services • Engineering Division
APPROVED DRAINAGE PLAN

Date: _____ Permit # _____
Signed: _____

Approved Construction Plan
NOT TO SCALE

Planning _____
Traffic _____
Fire _____

NCDENR PWSS WATER PERMIT # _____ GPD
WATER CAPACITY: _____ GPD
DWQ SEWER PERMIT # _____
SEWER CAPACITY: _____ GPD
SEWER SHED # AND PLANT: _____
SEWER TO FLOW THROUGH NEI: YES OR NO (CIRCLE ONE)

SYMBOL	DATE	DESCRIPTION	BY

REVISIONS
©2015 NORRIS & TUNSTALL

UTILITY NOTES FOR FIRE HYDRANTS:

- FIRE HYDRANTS MUST BE WITHIN 150' OF THE FIRE DEPARTMENT CONNECTION.
- THE FIRE DEPARTMENT CONNECTION MUST BE WITHIN 40' OF FIRE APPARATUS PLACEMENT.
- LANDSCAPING AND PARKING CANNOT BLOCK OR IMPEDE THE FIRE DEPARTMENT CONNECTIONS OR FIRE HYDRANTS. A 3' CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF THE FIRE HYDRANT CONNECTION AND THE FIRE HYDRANT.
- FIRE HYDRANTS MUST BE LOCATED WITHIN 8' OF THE CURB.
- NEW HYDRANTS MUST BE AVAILABLE FOR USE PRIOR TO CONSTRUCTION OF THE BUILDINGS.
- NEW HYDRANTS MUST BE BROUGHT INTO SERVICE PRIOR TO COMBUSTIBLE MATERIALS BEING DELIVERED TO THE JOB SITE.
- THE CONTRACTOR SHALL MAINTAIN AN ALL WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION.
- TEMPORARY STREET SIGNS SHALL BE INSTALLED AT EACH STREET INTERSECTION WHEN CONSTRUCTION OF NEW ROADWAYS ALLOWS PASSAGE BY VEHICLES.
- UNDERGROUND FIRE LINE AND PRIVATE WATER MAINS MUST BE PERMITTED AND INSPECTED BY THE WILMINGTON FIRE DEPARTMENT FROM THE PUBLIC RIGHT-OF-WAY TO THE BUILDING. CONTACT THE WILMINGTON FIRE DEPARTMENT DIVISION OF FIRE AND LIFE SAFETY AT 910-343-0696 FOR ADDITIONAL INFORMATION.
- A MINIMUM OF 5' SHALL SEPARATE UNDERGROUND FIRE LINES OR PRIVATE WATER MAINS FROM OTHER UNDERGROUND UTILITIES.
- HYDRANTS SHALL BE OF SUFFICIENT NUMBERS TO ACCOMMODATE BASE FLOW REQUIREMENTS OF THE STRUCTURE.
- BUILDING CONSTRUCTION TYPE: VB

NOTES AND DETAILS
BAKER BMW OF WILMINGTON
4900 NEW CENTER DRIVE
WILMINGTON, N. C.

DEVELOPER
BAKER MOTOR COMPANY, LLC
4920 NEW CENTER DRIVE
WILMINGTON, NC 28403
910 624-6060

NORRIS & TUNSTALL
CONSULTING ENGINEERS P.C.
1429 ASH-LITTLE RIVER RD. NW
ASH, NC 28401
PHONE (910) 343-9653

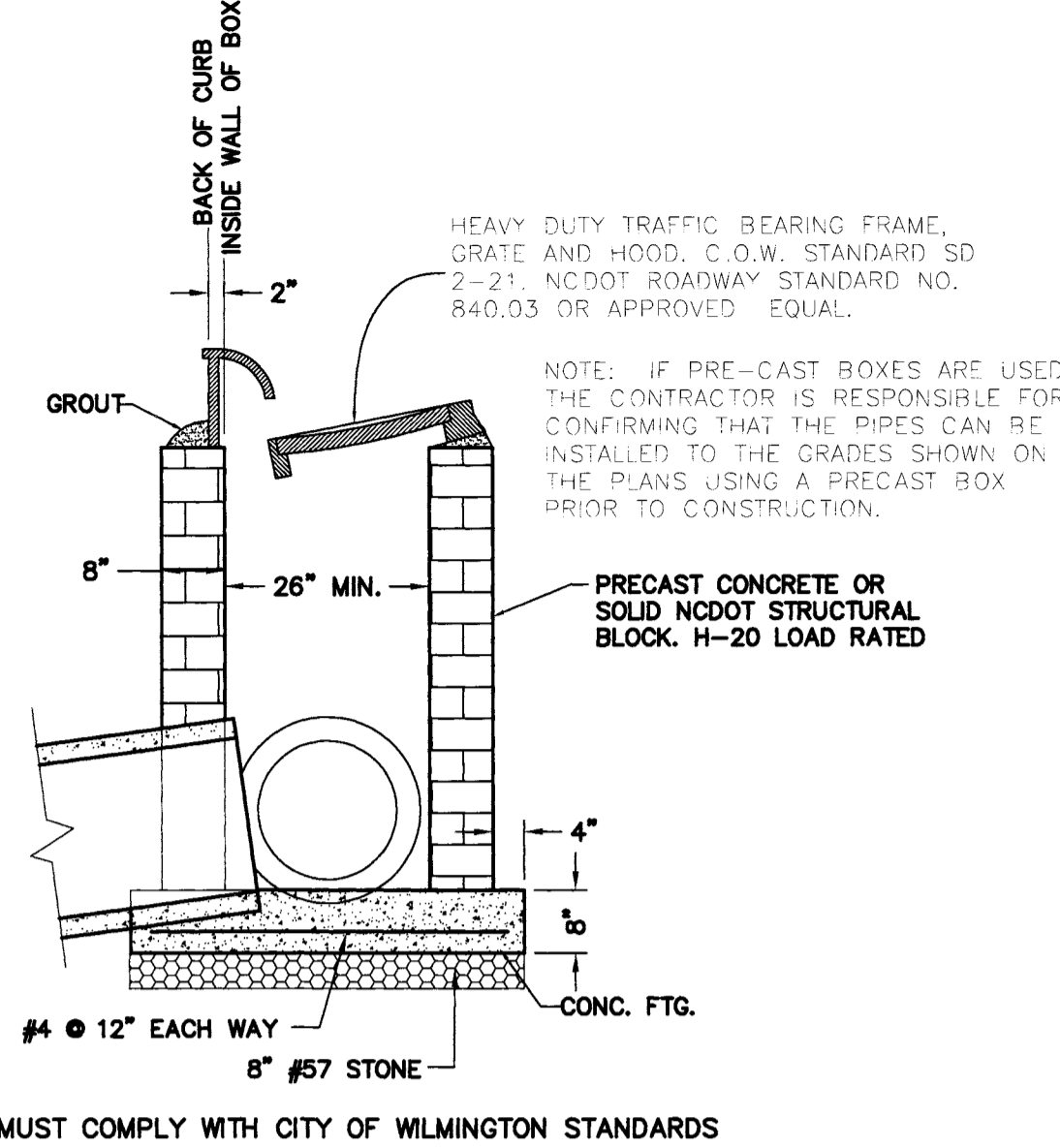
Licence #C-3641
16038

DES. JST
ORD. JPN
DRWN. NKS

DATE 2/1/17

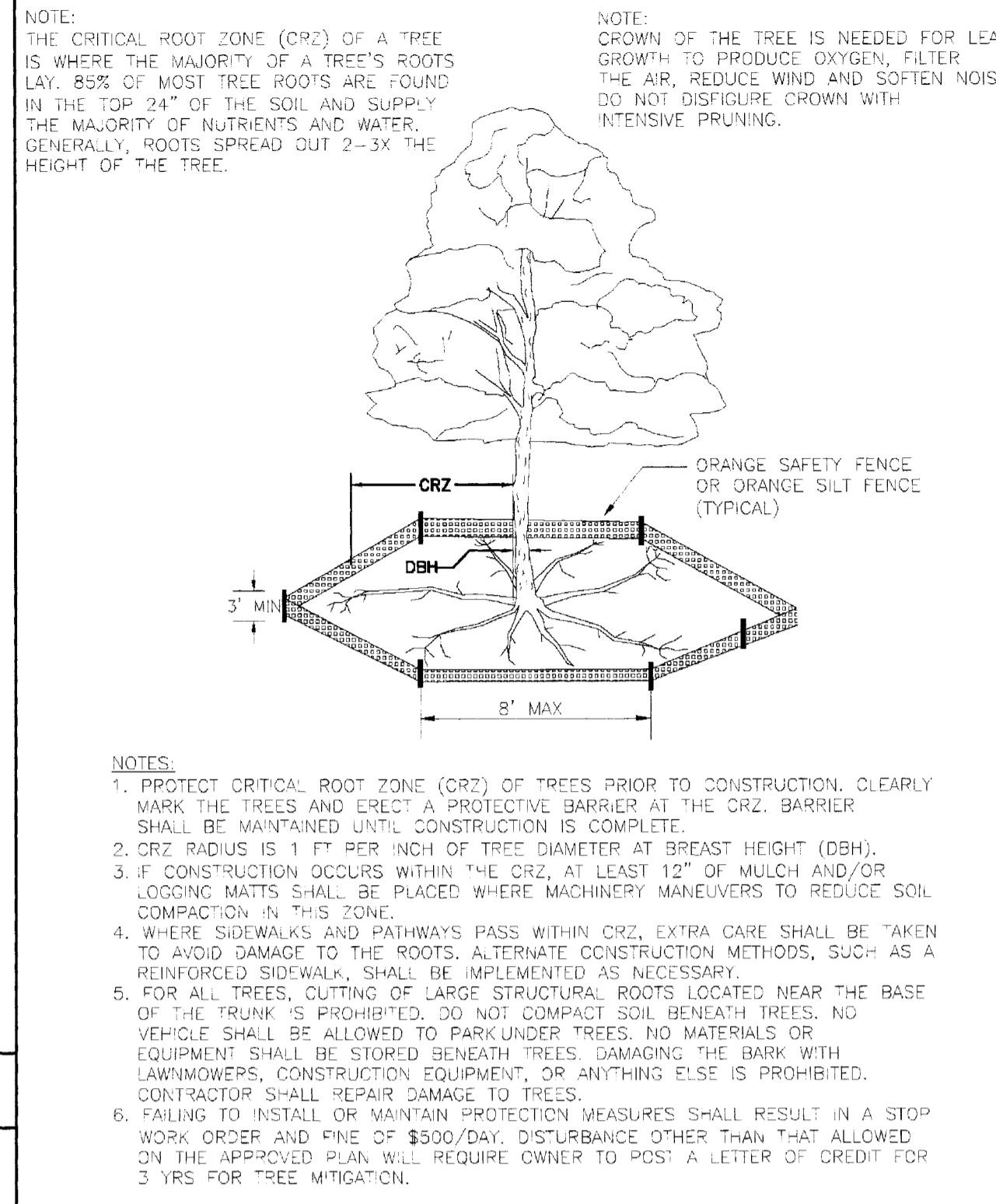
FOR BID ONLY NOT FOR CONSTRUCTION

C5

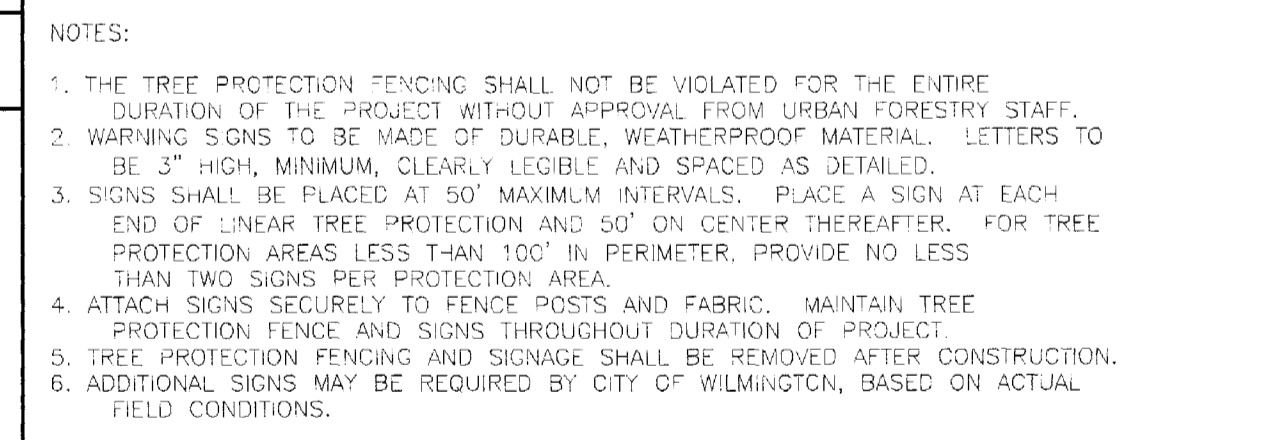
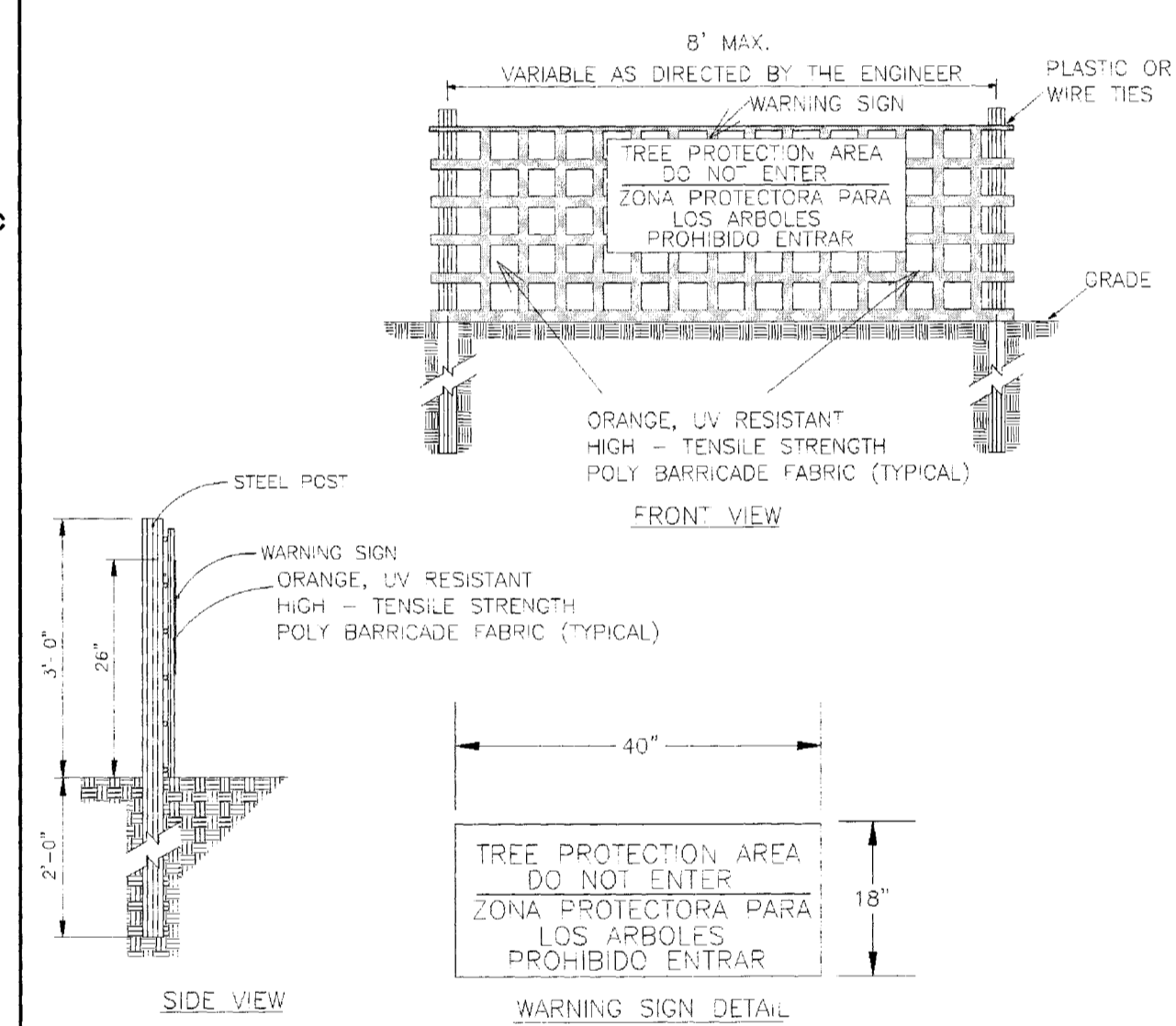


1 CATCH BASIN DETAIL

NOT TO SCALE



2 TREE PROTECTION DURING CONSTRUCTION
DETAIL 1 OF 2



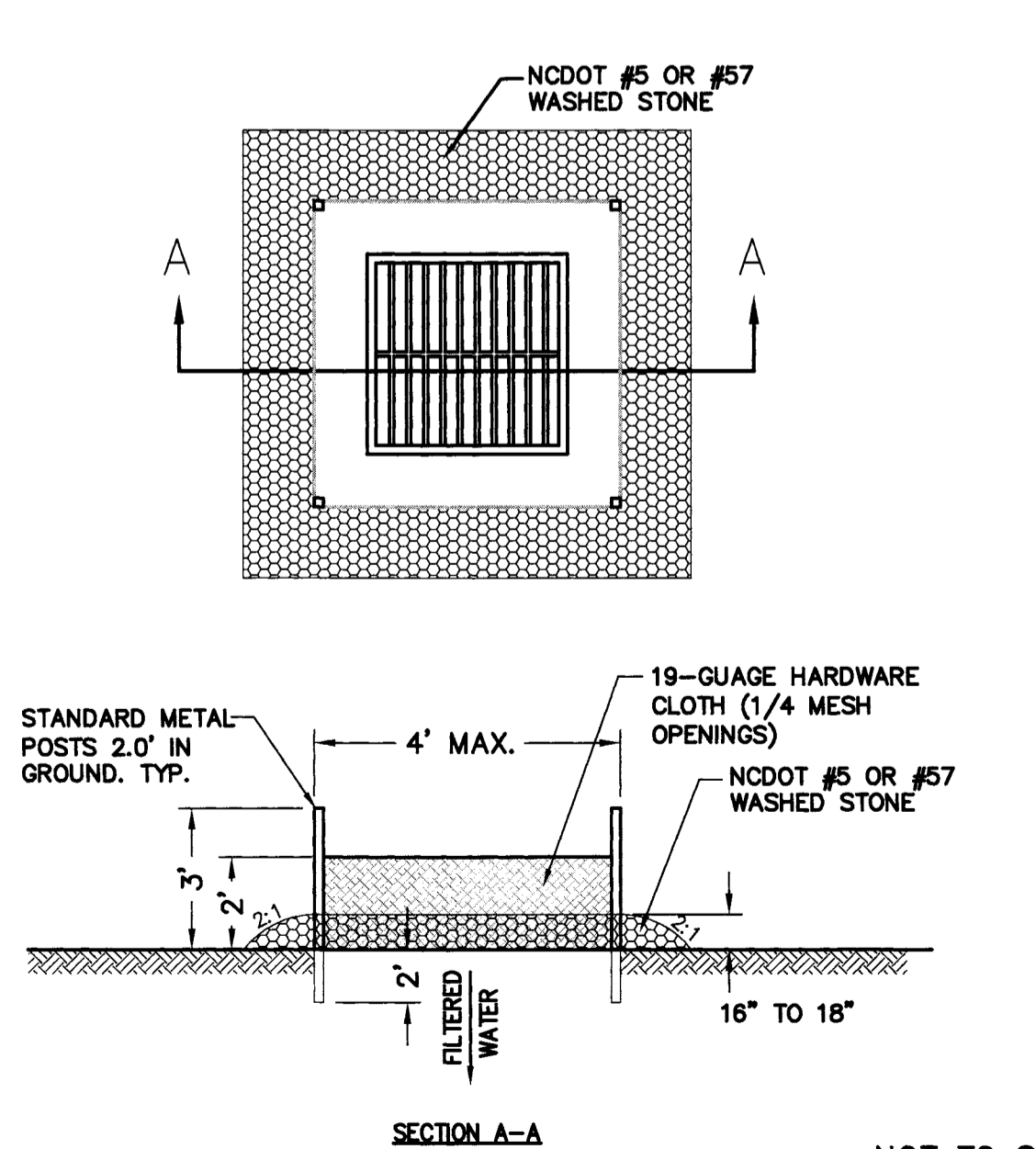
3 TREE PROTECTION DURING CONSTRUCTION
DETAIL 2 OF 2

CONSTRUCTION SEQUENCE:
 1. UNIFORMLY GRADE A SHALLOW DEPRESSION APPROACHING THE INLET.
 2. DRIVE 3" STEEL POST 2" INTO THE GROUND SURROUNDING THE INLET. SPACE POST EVENLY AROUND THE PERIMETER OF THE INLET, A MAXIMUM OF 4' APART.
 3. SURROUND THE POST WITH WIRE MESH HARDWARE CLOTH. SECURE THE WIRE MESH TO THE STEEL POST AT THE TOP, MIDDLE AND BOTTOM, PLACING A 2" FLAP OF THE WIRE MESH UNDER THE GRAVEL FOR ANCHORING IS RECOMMENDED.
 4. PLACE CLEAN GRAVEL (NCDOT #5 OR #57 STONE) ON A 2:1 SLOPE WITH A HEIGHT OF 16" TO 18" AROUND THE WIRE, AND SMOOTH TO AN EVEN GRADE.
 5. ONCE THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED, REMOVE ACCUMULATED SEDIMENT, AND ESTABLISH FINAL GRADING ELEVATIONS.
 6. COMPACT THE AREA PROPERLY AND STABILIZE IT WITH GROUND COVER.

MAINTENANCE:
 INSPECT INLETS AT LEAST WEEKLY AND AFTER EACH SIGNIFICANT (1/2 INCH OR GREATER) RAINFALL EVENT. CLEAR THE MESH WIRE OF ANY DEBRIS OR OTHER OBJECTS TO PROVIDE ADEQUATE FLOW FOR SUBSEQUENT RAINS. TAKE CARE NOT TO DAMAGE OR UNDERCUT THE WIRE MESH DURING SEDIMENT REMOVAL. REMOVE SEDIMENT WHEN ACCUMULATION REACHES HALF THE DEPTH OF ROCK. REPLACE STONE WHEN IT NO LONGER DRAINS AS DESIGNED.

NOT TO SCALE

2 TEMPORARY SILT FENCE



3 HARDWARE CLOTH AND GRAVEL
INLET PROTECTION

NOT TO SCALE

TEMPORARY SEEDING RECOMMENDATIONS

LATE WINTER & EARLY SPRING

SEEDING MIXTURE	RATE (lb./acre)
RYE (GRAIN)	120
ANNUAL LESPEDEZA	50
(KOBE IN PIEDMONT AND COASTAL PLAIN, KOREAN IN MOUNTAINS)	

OMIT ANNUAL LESPEDEZA WHEN DURATION OF TEMPORARY COVER IS NOT TO EXTEND BEYOND JUNE.

SEEDING DATES:
 MOUNTAINS - ABOVE 2,500 FEET: FEB. 15 - MAY 15
 BELOW 2,500 FEET: FEB. 1 - MAY 1
 PIEDMONT - FEB. 1 - MAY 1
 COASTAL PLAIN - JAN. 1 - MAY 1
 SOIL AMENDMENTS:
 FOLLOW RECOMMENDATIONS OF SOIL TESTS OR APPLY 2,000 lb/acre GROUND AGRICULTURAL LESTMONE AND 750 lb/acre 10-10-10 FERTILIZER.

MULCH:
 APPLY 4,000 lb/acre STRAW, ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING, OR A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.

MAINTENANCE:
 REFERTILIZE IF GROWTH IS NOT FULLY ADEQUATE. RESEED, REFERTILIZE AND MULCH IMMEDIATELY FOLLOWING EROSION OR OTHER DAMAGE.

SUMMER

SEEDING MIXTURE	RATE (lb./acre)
SPECIES GERMAN MILLET	40

IN THE PIEDMONT AND MOUNTAINS, A SMALL-STEMMED SUDANGRASS MAY BE SUBSTITUTED AT A RATE OF 50 lb/acre.

SEEDING DATES:
 MOUNTAINS - MAY 15 - AUG. 15
 PIEDMONT - MAY 1 - AUG. 15
 COASTAL PLAIN - APR. 15 - AUG. 15
 SOIL AMENDMENTS:
 FOLLOW RECOMMENDATIONS OF SOIL TESTS OR APPLY 2,000 lb/acre GROUND AGRICULTURAL LESTMONE AND 750 lb/acre 10-10-10 FERTILIZER.

MULCH:
 APPLY 4,000 lb/acre STRAW, ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING, OR A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.

MAINTENANCE:
 REFERTILIZE IF GROWTH IS NOT FULLY ADEQUATE. RESEED, REFERTILIZE AND MULCH IMMEDIATELY FOLLOWING EROSION OR OTHER DAMAGE.

FALL

SEEDING MIXTURE	RATE (lb./acre)
SPECIES RYE (GRAIN)	120

SEEDING DATES:
 MOUNTAINS - AUG. 15 - DEC. 15
 COASTAL PLAIN AND PIEDMONT - AUG. 15 - DEC. 15
 SOIL AMENDMENTS:
 FOLLOW SOIL TEST OR APPLY 2,000 lb/acre GROUND AGRICULTURAL LESTMONE AND 1,000 lb/acre 10-10-10 FERTILIZER.

MULCH:
 APPLY 4,000 lb/acre STRAW, ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING, OR A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.

MAINTENANCE:
 REPAIR AND REFERTILIZE DAMAGE AREAS IMMEDIATELY. TOP DRESS WITH 50 lb/acre OF NITROGEN IN MARCH, IF IT IS NECESSARY TO EXTEND TEMPORARY COVER BEYOND JUNE 15. OVERSEED WITH 50 lb/acre KOBE (PIEDMONT AND COASTAL PLAIN) OR KOREAN (MOUNTAINS) LESPEDEZA IN LATE FEBRUARY OR EARLY MARCH.

PERMANENT SEEDING RECOMMENDATIONS

FALL & EARLY SPRING

SEEDING MIXTURE	RATE (lb./acre)
SPECIES TALL FESCUE	80
PENSACOLA BAHIAGRASS	30
SERICEA LESPEDEZA	30
KOBE LESPEDEZA	10

SEEDING NOTES:
 1. FROM SEPT. 1 THRU MAR. 1, USE UNSCARIFIED SERICEA SEED.
 2. ON POORLY DRAINED SITES OMIT SERICEA AND INCREASE KOBE TO 30 lbs/acre.
 3. WHERE A NEAT APPEARANCE IS DESIRED, OMIT SERICEA AND INCREASE KOBE TO 40 lbs/acre.

NURSE PLANTS: BETWEEN APR. 15 AND AUG. 15, ADD 10 lbs/acre GERMAN MILLET OR 15 lbs/acre SUDANGRASS. PRIOR TO MAY 1 OR AFTER AUG. 15 ADD 25 lbs/acre RYE (GRAIN).

SEEDING DATES:
 EARLY SPRING: FEB. 15-MAR. 20
 FALL: SEPT. 1-SEPT. 30
 POSSIBLE: FEB. 15-APR. 30
 SEPT. 1-OCT. 31

SOIL AMENDMENTS:
 APPLY LIME AND FERTILIZE ACCORDING TO SOIL TESTS, OR APPLY 3,000-5,000 lbs/acre (68.9-114.8 lbs/1,000 sf) GROUND AGRICULTURAL LESTMONE (USE THE LOWER RATE ON SANDY SOILS) AND 1,000 lbs/acre (22.9 lbs/1,000 sf) 10-10-10 FERTILIZER.

MULCH:
 APPLY 4,000 lb/acre (91.8 lbs/1,000 sf) GRAIN STRAW OR EQUIVALENT COVER OF ANOTHER SUITABLE MULCH. ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING, OR ROVING OR BY CRIMPING WITH A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.

MAINTENANCE:
 IF GROWTH IS LESS THAN FULLY ADEQUATE, REFERTILIZE IN THE SECOND YEAR, ACCORDING TO SOIL TESTS OR TOPDRESS WITH 500 lbs/acre (11.5 lbs/1,000 sf) 10-10-10 FERTILIZER. MOW AS NEEDED WHEN SERICEA IS OMITTED FROM THE MIXTURE. RESEED, FERTILIZE, AND MULCH DAMAGED AREAS IMMEDIATELY.

EROSION CONTROL NOTES AND
MAINTENANCE PLAN:

- ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE CHECKED FOR STABILITY AND OPERATION FOLLOWING EVERY RUNOFF-PRODUCING RAINFALL, BUT IN NO CASE, LESS THAN ONCE EVERY WEEK AND WITHIN 24 HOURS OF EVERY HALF-INCH RAINFALL.
- ALL POINTS OF EGRESS WILL HAVE CONSTRUCTION ENTRANCES THAT WILL BE PERIODICALLY TOP-DRESSED WITH AN ADDITIONAL 2 INCHES OF #4 STONE TO MAINTAIN PROPER DEPTH. THEY WILL BE MAINTAINED IN A CONDITION TO PREVENT MUD OR SEDIMENT FROM LEAVING THE SITE. IMMEDIATELY REMOVE OBJECTIONABLE MATERIAL SPILLED WASHED OR TRACKED ONTO THE CONSTRUCTION ENTRANCE OR ROADWAYS.
- SEDIMENT WILL BE REMOVED FROM HARDWARE CLOTH AND GRAVEL INLET PROTECTION, BLOCK AND GRAVEL INLET PROTECTION, ROCK DOUGHNUT INLET PROTECTION AND ROCK PIPE INLET PROTECTION WHEN THE DESIGNED STORAGE CAPACITY HAS BEEN HALF FILLED WITH SEDIMENT. ROCK WILL BE CLEANED OR REPLACED WHEN THE SEDIMENT POOL NO LONGER DRAINS AS DESIGNED. DEBRIS WILL BE REMOVED FROM THE ROCK AND HARDWARE CLOTH TO ALLOW PROPER DRAINAGE. SILT SACKS WILL BE EMPTIED ONCE A WEEK AND AFTER EVERY RAIN EVENT. SEDIMENT WILL BE REMOVED FROM AROUND WATERS, BEAVER DAMS, DANDY SACKS AND SOCKS ONCE A WEEK AND AFTER EVERY RAIN EVENT.
- DIVERSION DITCHES WILL BE CLEANED OUT IMMEDIATELY TO REMOVE SEDIMENT OR OBSTRUCTIONS FROM THE FLOW AREA. THE DIVERSION RIDGES WILL ALSO BE REPAIRED. SWALES WILL BE TEMPORARILY STABILIZED WITHIN 21 CALENDAR DAYS OF CEASE OF ANY PHASE OF ACTIVITY ASSOCIATED WITH A SWALE.
- SEDIMENT WILL BE REMOVED FROM BEHIND THE SEDIMENT FENCE WHEN IT BECOMES HALF FILLED. THE SEDIMENT FENCE WILL BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER. STAKES MUST BE STEEL. STAKE SPACING WILL BE 6 FEET MAX. WITH THE USE OF EXTRA STRENGTH FABRIC, WITHOUT WIRE BACKING. STAKE SPACING WILL BE 8 FEET MAX. WHEN STANDARD STRENGTH FABRIC AND WIRE BACKING ARE USED. IF ROCK FILTERS ARE DESIGNED AT LOW POINTS IN THE SEDIMENT FENCE, THE ROCK WILL BE REPAIRED OR REPLACED IF IT BECOMES HALF-FULL OF SEDIMENT, NO LONGER DRAINS AS DESIGNED OR IS DAMAGED.
- SEDIMENT WILL BE REMOVED FROM THE SEDIMENT BASIN WHEN THE DESIGN STORAGE CAPACITY HAS BEEN HALF FILLED WITH SEDIMENT. ROCK WILL BE CLEANED OR REPLACED WHEN THE SEDIMENT POOL NO LONGER DRAINS OR IF THE ROCK IS DISLODGED. BAFFLES WILL BE REPAIRED OR REPLACED IF THEY COLLAPSE, TEAR, DECOMPOSE OR BECOME INEFFECTIVE. THEY WILL BE REPLACED PROMPTLY. SEDIMENT WILL BE REMOVED FROM BAFFLES WHEN DEPOSITS REACH HALF THE HEIGHT OF THE 1ST BAFFLE. FLOATING SKIMMERS WILL BE INSPECTED WEEKLY AND WILL BE KEPT CLEAN.
- LAND QUALITY REQUIRES:
 ALL SEEDED AREAS WILL BE FERTILIZED, RESEED AS NECESSARY, AND MULCHED, ACCORDING TO SPECIFICATIONS IN THE VEGETATIVE PLAN, TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER. ALL SLOPES WILL BE STABILIZED WITHIN 21 CALENDAR DAYS. ALL OTHER AREAS WILL BE STABILIZED WITHIN 14 WORKING DAYS.
 WATER QUALITY REQUIRES:
 ALL SEEDED AREAS WILL BE FERTILIZED, RESEED AS NECESSARY AND MULCHED ACCORDING TO SPECIFICATIONS IN THE VEGETATIVE PLAN TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER. ALL PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES, ALL SLOPES STEEPER THAN 3:1 HORIZONTAL TO 1:1 VERTICAL (3:1) AND ALL HIGH QUALITY WATER (HOW) ZONES SHALL BE PROVIDED TEMPORARY OR PERMANENT STABILIZATION WITH GROUND COVER AS SOON AS PRACTICABLE BUT IN ANY EVENT WITHIN SEVEN (7) CALENDAR DAYS FROM THE LAST LAND-DISTURBING ACTIVITY. ALL OTHER DISTURBED AREAS SHALL BE PROVIDED TEMPORARY OR PERMANENT STABILIZATION WITH GROUND COVER AS SOON AS PRACTICABLE BUT IN ANY EVENT WITHIN FOURTEEN (14) CALENDAR DAYS FROM THE LAST LAND-DISTURBING ACTIVITY.
- FLOCCULANTS WILL BE USED TO ADDRESS TURBIDITY ISSUES. THE PUMPS, TANKS, HOSES AND INJECT SYSTEMS WILL BE CHECKED FOR PROBLEMS OR TURBID DISCHARGES DAILY.
- Basin outlet structures and skimmers shall withdraw water from the surface.

SITE WORK NOTES:

- THE CONTRACTOR SHALL VISIT THE SITE TO BECOME FAMILIAR WITH FIELD CONSTRUCTION CONDITIONS.
- CONTRACTOR SHALL COORDINATE WORK WITH NCDOT AND LOCAL RIGHT OF WAYS WITH PROPER AUTHORITIES AND SHALL MEET ANY REQUIREMENTS AS TO TRAFFIC CONTROL AND CONNECTION TO EXISTING STREETS.
- CLEARING AND GRUBBING: REMOVE ALL TREES AS REQUIRED UNLESS OTHERWISE NOTED TO REMAIN, STUMPS, ROOTS, SHRUBBERY, ASPHALT, CONCRETE, STRUCTURES, BURIED UTILITIES, STORAGE TANKS, ETC. WITHIN LIMITS OF CONSTRUCTION.
- STRIPPING: BEFORE EXCAVATING OR FILLING, REMOVE ALL TOPSOIL, WOOD, LEAVES, AND ANY OTHER UNSUITABLE MATERIAL.
- MUCKING: REMOVE ANY SOFT, ORGANIC SILT MATERIALS AND EXISTING BURIED CONSTRUCTION DEBRIS AS REQUIRED AND FILL TO SUBGRADE ELEVATIONS WITH A CLEAN SELECT-FILL COMPACTED AS SPECIFIED.
- DISPOSAL: CLEARED, GRUBBED, STRIPPED OR EXCAVATED SPOIL SHALL BE REMOVED FROM SITE AND DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE LOCAL AND STATE CODES.
- BORROW MATERIAL: THE CONTRACTOR SHALL FURNISH BORROW MATERIAL REQUIRED FROM OFF SITE AND OBTAIN ALL REQUIRED PERMITS ASSOCIATED WITH BORROW OPERATIONS.
- FILL AND COMPACTION: SEE SPECIFICATIONS.
- LAYOUT: THE CONTRACTOR SHALL PROVIDE ALL LAYOUT REQUIRED TO CONSTRUCT HIS WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OF EXISTING UTILITIES DURING CONSTRUCTION.
- EXISTING BOUNDARY AND TOPOGRAPHIC INFORMATION FROM SURVEY BY HANOVER DESIGN SERVICES AND PROVIDED BY OWNER.
- THE CONTRACTOR SHALL VERIFY DIMENSIONS AT JOBSITE.
- THE CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION OF RELOCATION OR DISCONNECTION OF ALL EXISTING UTILITIES WITH APPLICABLE AGENCIES AND AUTHORITIES.
- ALL PAVEMENT AND BASE MATERIALS AND WORKMANSHIP SHALL CONFORM TO NCDOT STANDARDS.
- WATER AND SEWER SERVICES SHALL BE INSTALLED TO MEET CFPUA AND STATE PLUMBING CODES. METER AND TAPS SHALL MEET ALL CFPUA REQUIREMENTS.
- ALL AREAS SHALL BE GRADED FOR POSITIVE DRAINAGE.
- SEE GEO-TECHNICAL REPORT FOR ADDITIONAL REQUIREMENTS.
- CONTRACTOR SHALL NOTE THAT EARTHWORK QUANTITIES ARE HIS RESPONSIBILITY. PLANS DO NOT REPRESENT A BALANCED EARTHWORK CONDITION.
- REINF. CONC. PIPE SHALL BE CLASS III W/RUBBER GASKETED JOINT OR "RAM NECK". INSTALL PER MANUFACTURER'S REQUIREMENTS.
- USE WHITE LANE MARKING PAINT FOR ALL PAVEMENT MARKINGS. PAINT SHALL BE A CHLORINATED RUBBER ALKYD, FS TT-P-115, TYPE III, FACTORY MIXED, QUICK DRYING, NON-BLEEDING.
- REFER TO THE PLUMBING DRAWINGS FOR LOCATION AND INVERTS OF NEW WASTE, WATER AND ROOF DRAIN LINES. PRIOR TO CONSTRUCTION CHECK ALL GRAVITY PIPE INVERTS ON PLUMBING PLAN & CIVIL PLAN.

NOTES AND DETAILS
BAKER BMW OF WILMINGTON
4900 NEW CENTER DRIVE
WILMINGTON, N. C.

DEVELOPER
BAKER MOTOR COMPANY, LLC
4900 NEW CENTER DRIVE
WILMINGTON, NC 28403
910 624-6060

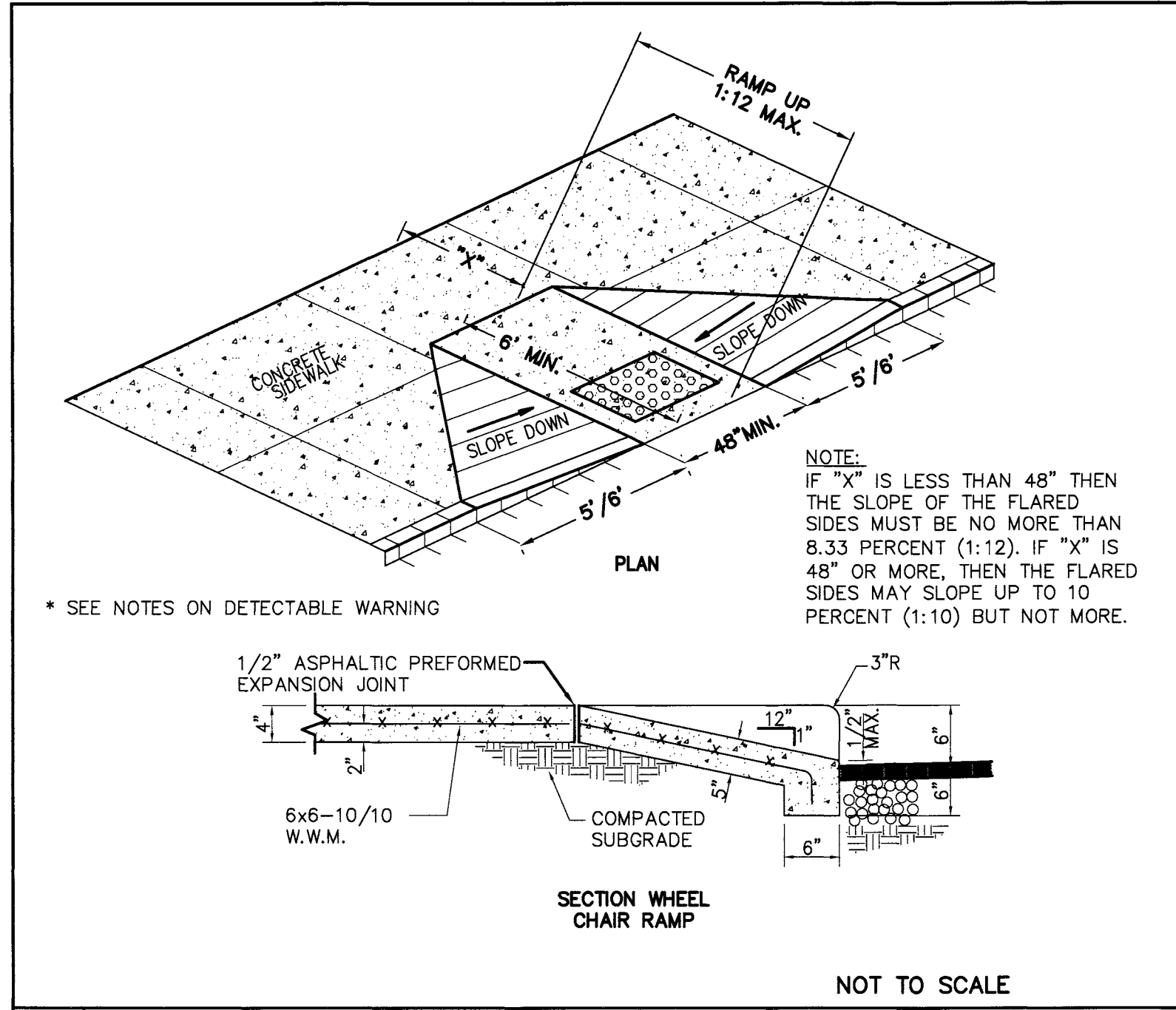
NORRIS & TUNSTALL
CONSULTING ENGINEERS P.C.
602 MARKET STREET, 28401
WILMINGTON, NC 28402
PHONE: (910) 343-9633

License #C-3641
16038
DES. JST
ORD. JPN
DRAW. NKS
DATE 2/1/17
APPROVED STORMWATER MANAGEMENT PLAN
Date: Permit #
Signed: Approved Construction Plan
Name: Date:
Planning: _____
Traffic: _____
Fire: _____
FOR BID ONLY NOT FOR CONSTRUCTION

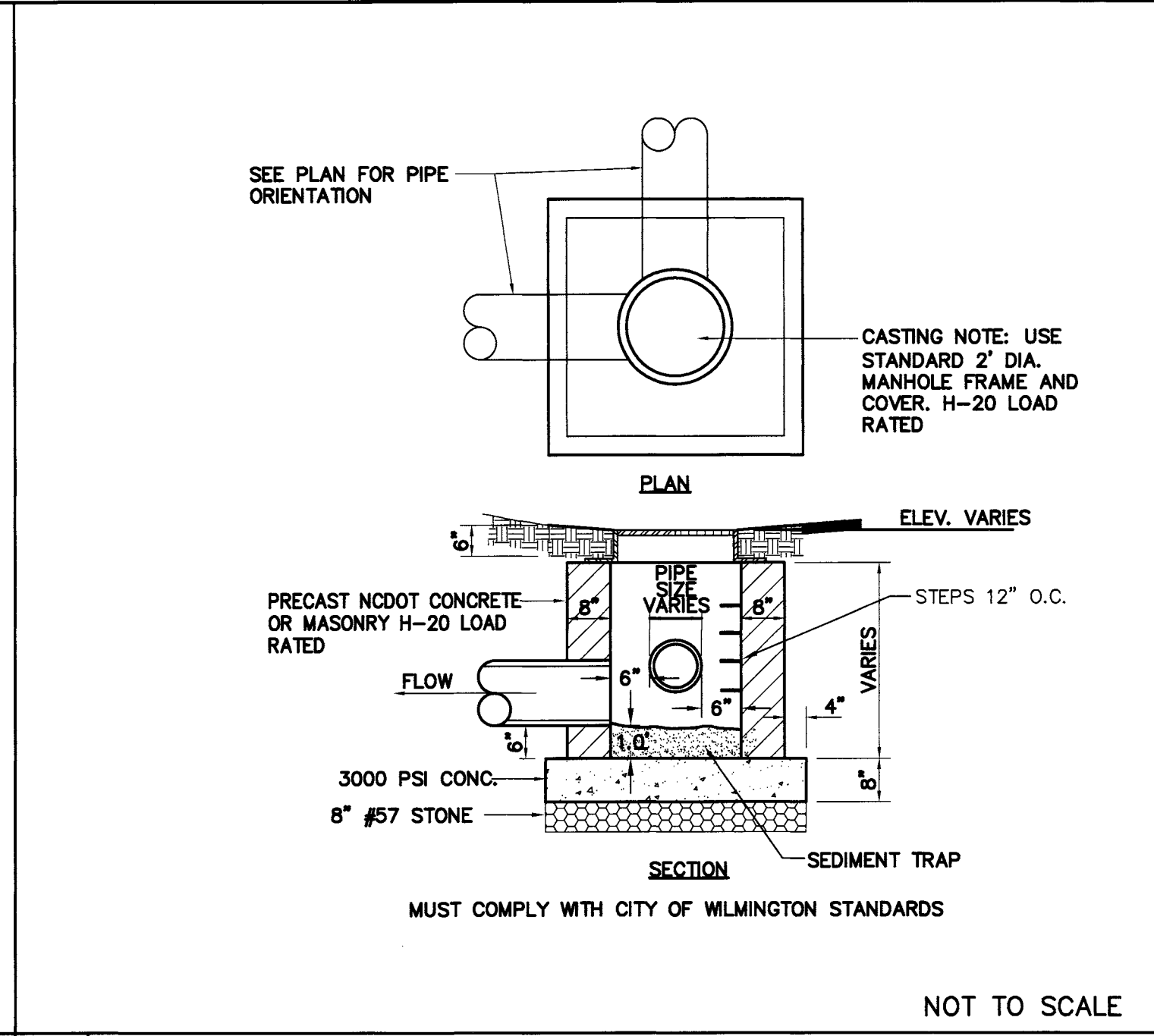
CALL 811 (3) WORKING
DAYS BEFORE YOU DIG.

SYMBOL	DATE	DESCRIPTION	BY
REVISIONS			
© 2016 NORRIS & TUNSTALL			

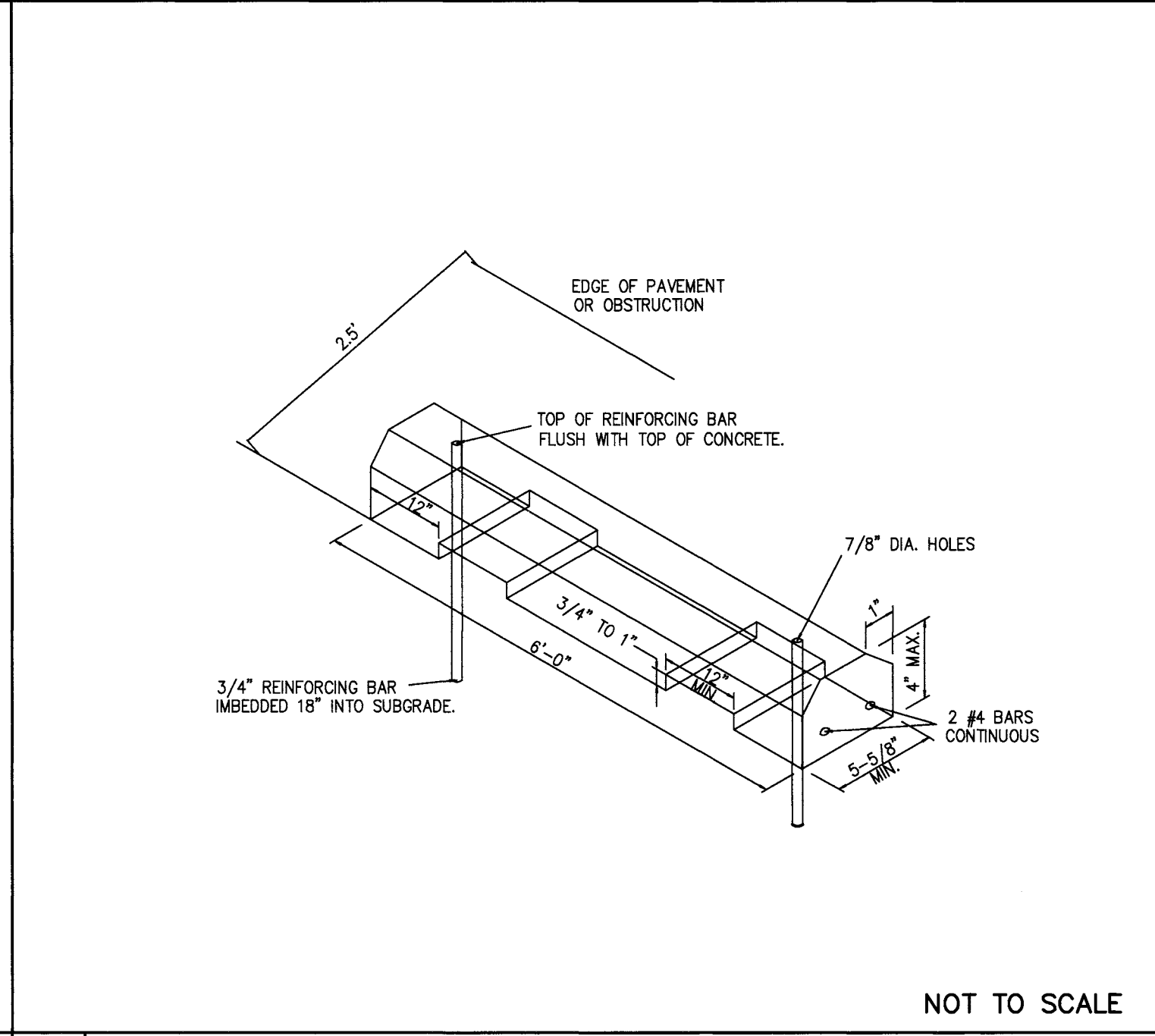
C6



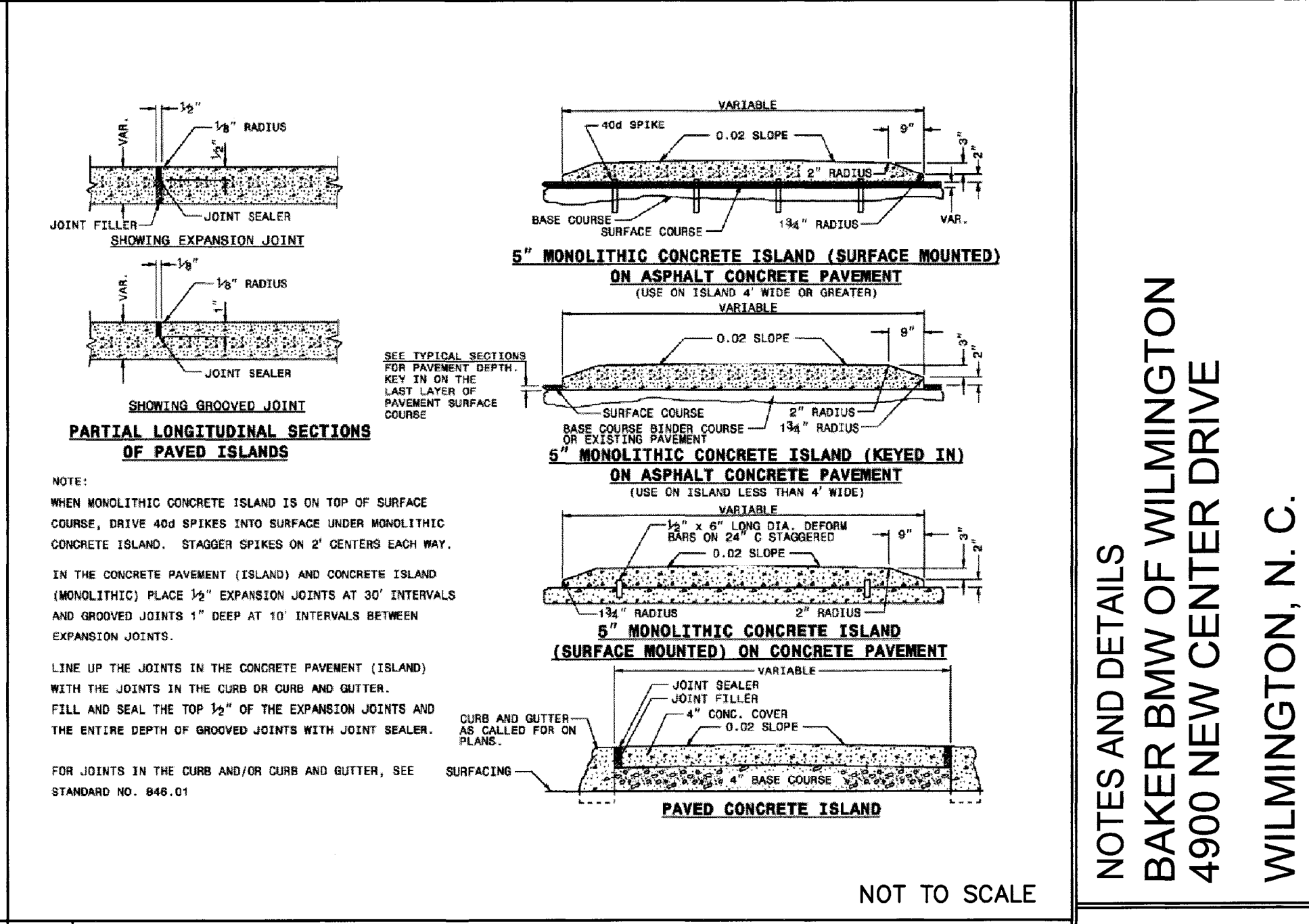
1 SIDEWALK, CURB CUT AND WHEEL CHAIR RAMP DETAIL



2 JUNCTION BOX DETAIL



3 CONCRETE WHEEL STOPS

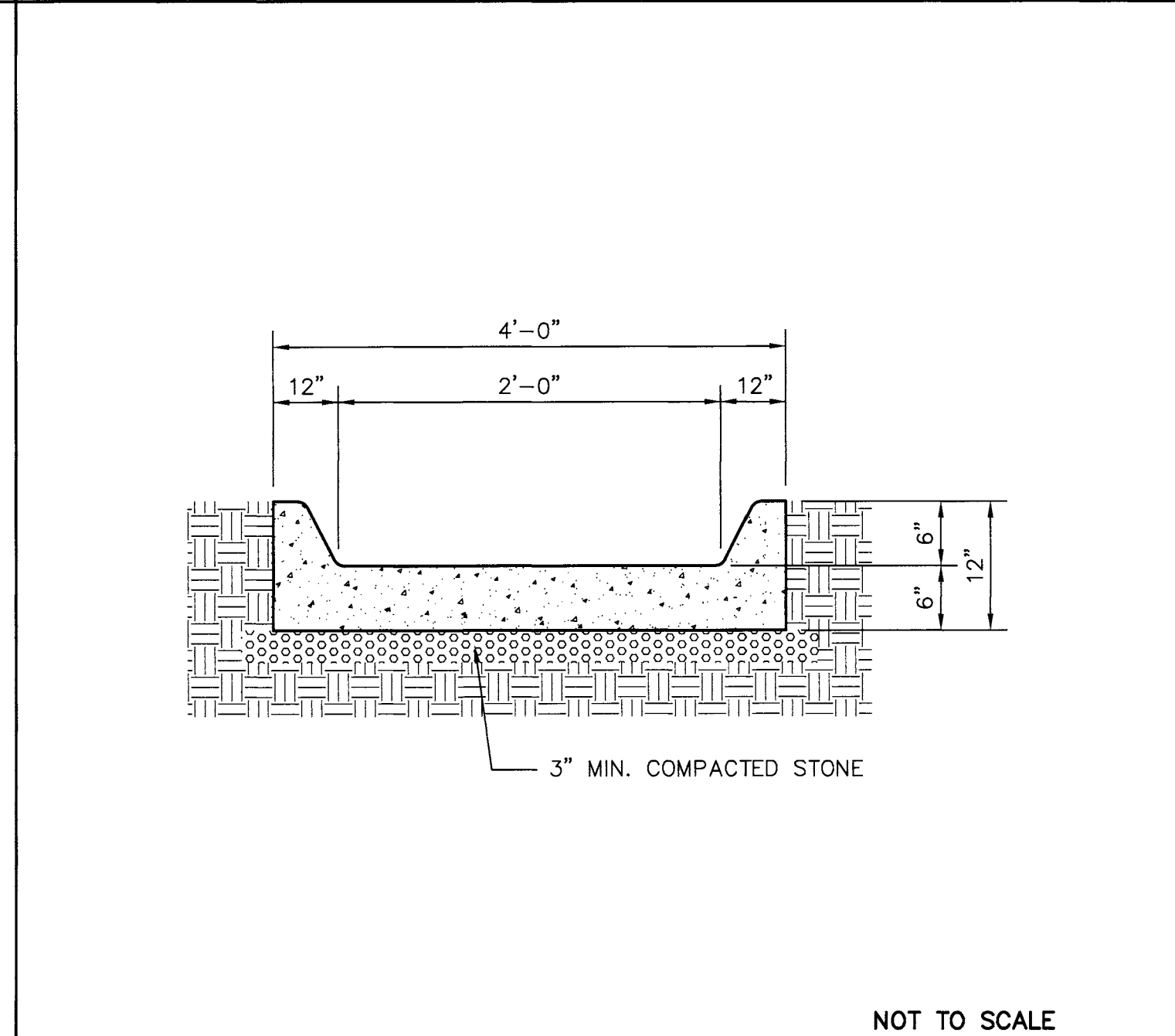


4 NCDOT CONCRETE ISLAND DETAIL

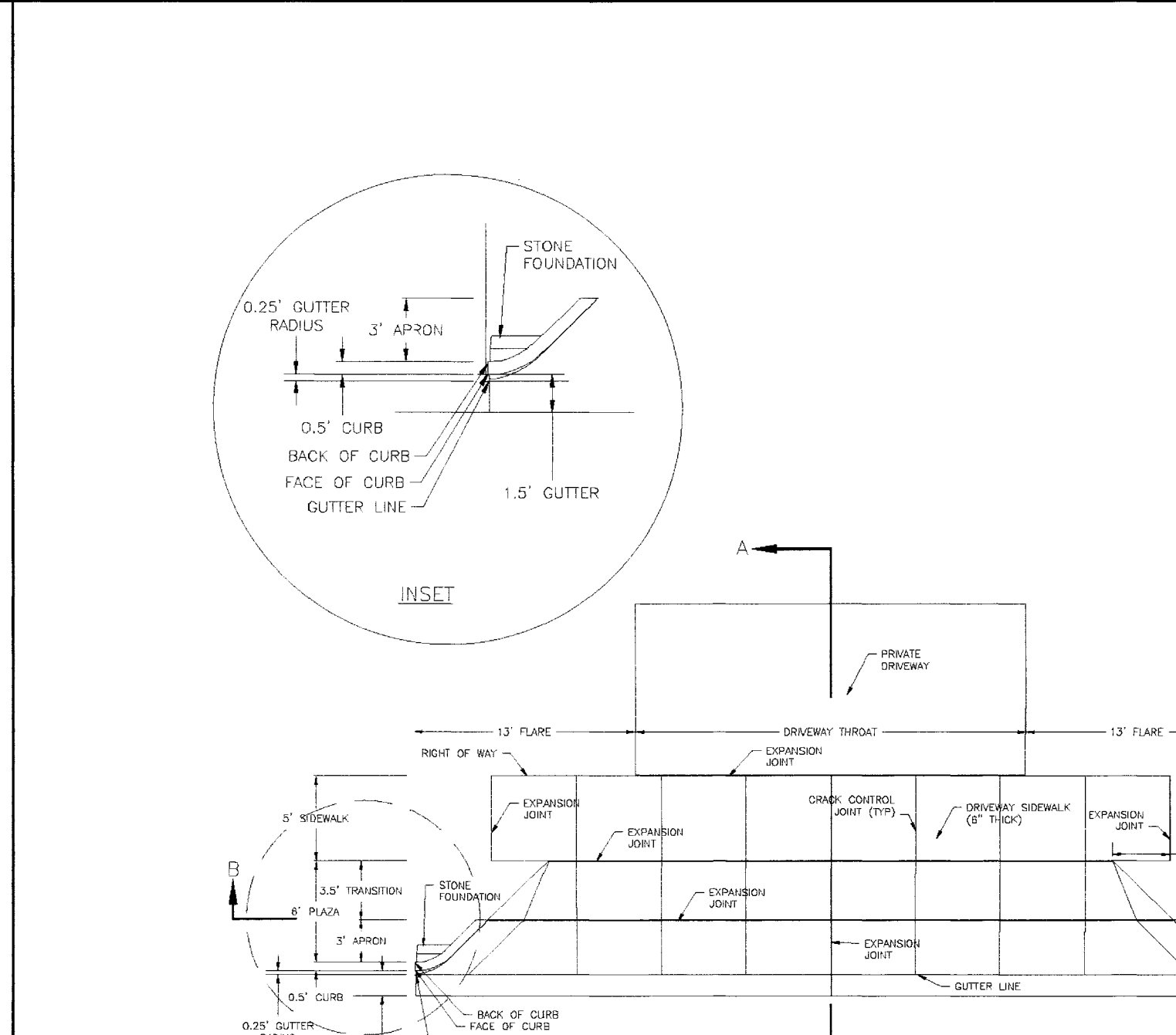
NOTE:

- RAMP SHALL HAVE A DETECTABLE WARNING COMPLYING WITH ADA GUIDELINES.
- THE DETECTABLE WARNINGS AT CURB RAMPS SHALL BE 24 INCHES MINIMUM IN THE DIRECTION OF TRAVEL AND EXTEND THE FULL WIDTH OF THE CURB RAMP OR FLUSH SURFACE.
- MARKED CROSSINGS THAT ARE RAISED TO THE SAME LEVEL AS THE ADJOINING SIDEWALK SHALL BE PRECEDED BY A 24 INCH DEEP DETECTABLE WARNING EXTENDING THE FULL WIDTH OF THE MARKED CROSSING.
- DETECTABLE WARNINGS SHALL CONSIST OF RAISED TRUNCATED DOMES WITH A DIAMETER OF NOMINAL 0.9 IN (23 MM), A HEIGHT OF NOMINAL 0.2 IN (5 MM) AND A CENTER-TO-CENTER SPACING OF NOMINAL 2.35 IN (60 MM) AND SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES, EITHER LIGHT-ON-DARK, OR DARK-ON-LIGHT. THE MATERIAL USED TO PROVIDE CONTRAST SHOULD CONTRAST BY AT LEAST 70% - REFER TO ADA GUIDELINES FOR DEFINITION OF "CONTRAST".
- THE MATERIAL USED TO PROVIDE CONTRAST SHALL BE AN INTEGRAL PART OF THE WALKING SURFACE. DETECTABLE WARNINGS USED ON INTERIOR SURFACES SHALL DIFFER FROM ADJOINING WALKING SURFACES IN RESILIENCY OR SOUND-ON-CANE CONTACT.

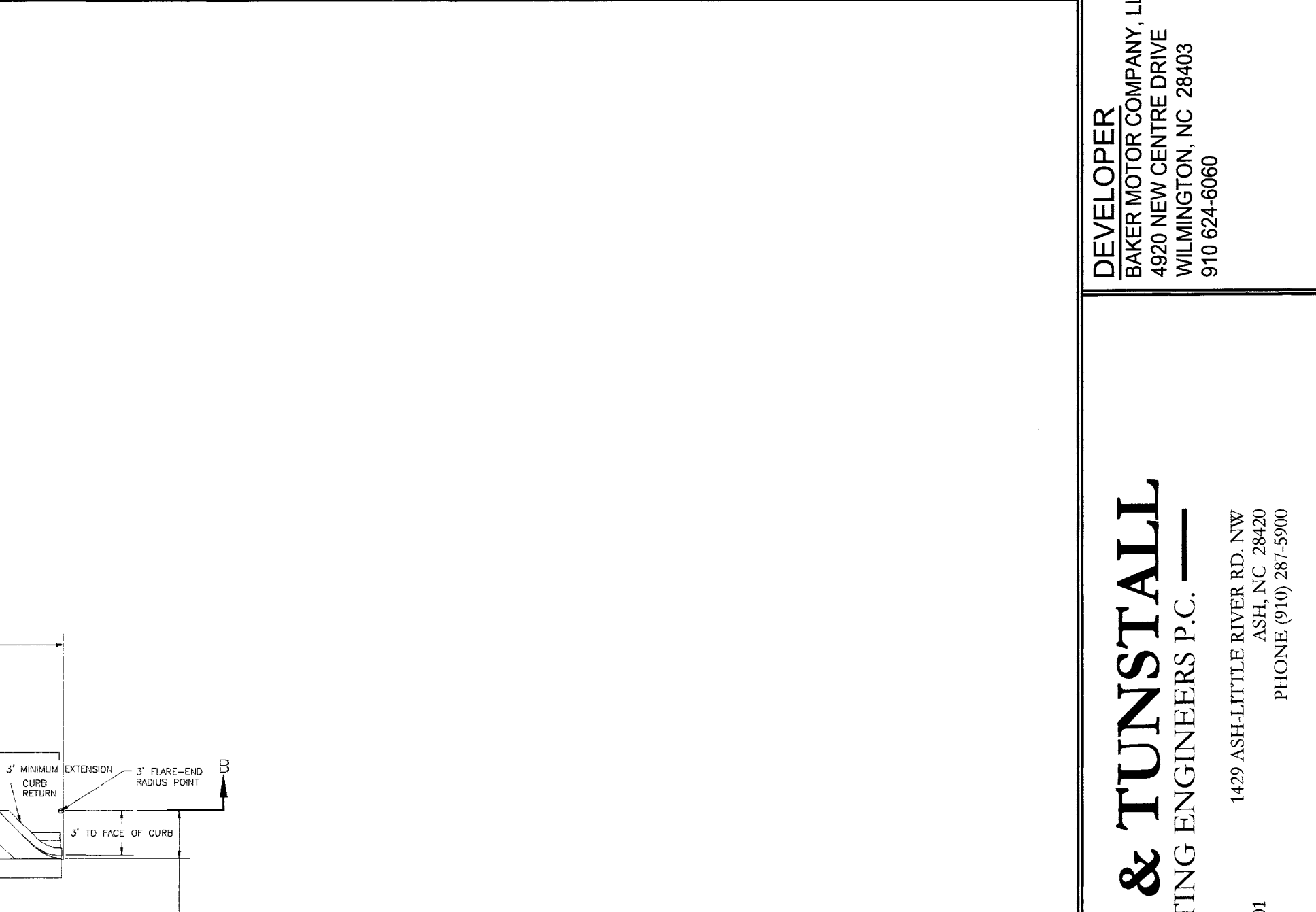
5 NOTES ON DETECTABLE WARNING FOR WHEEL CHAIR RAMPS



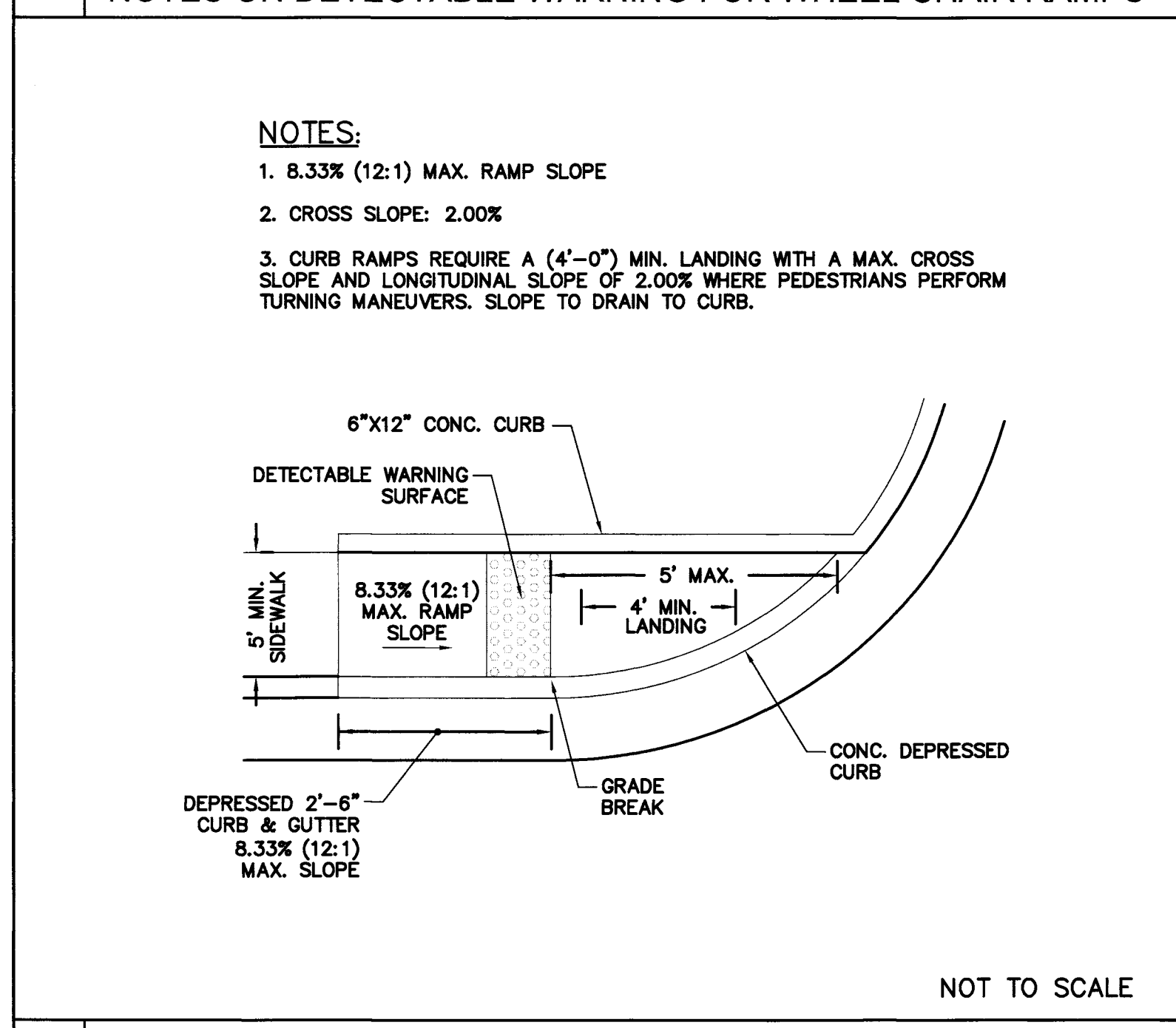
6 CONCRETE FLUME SECTION



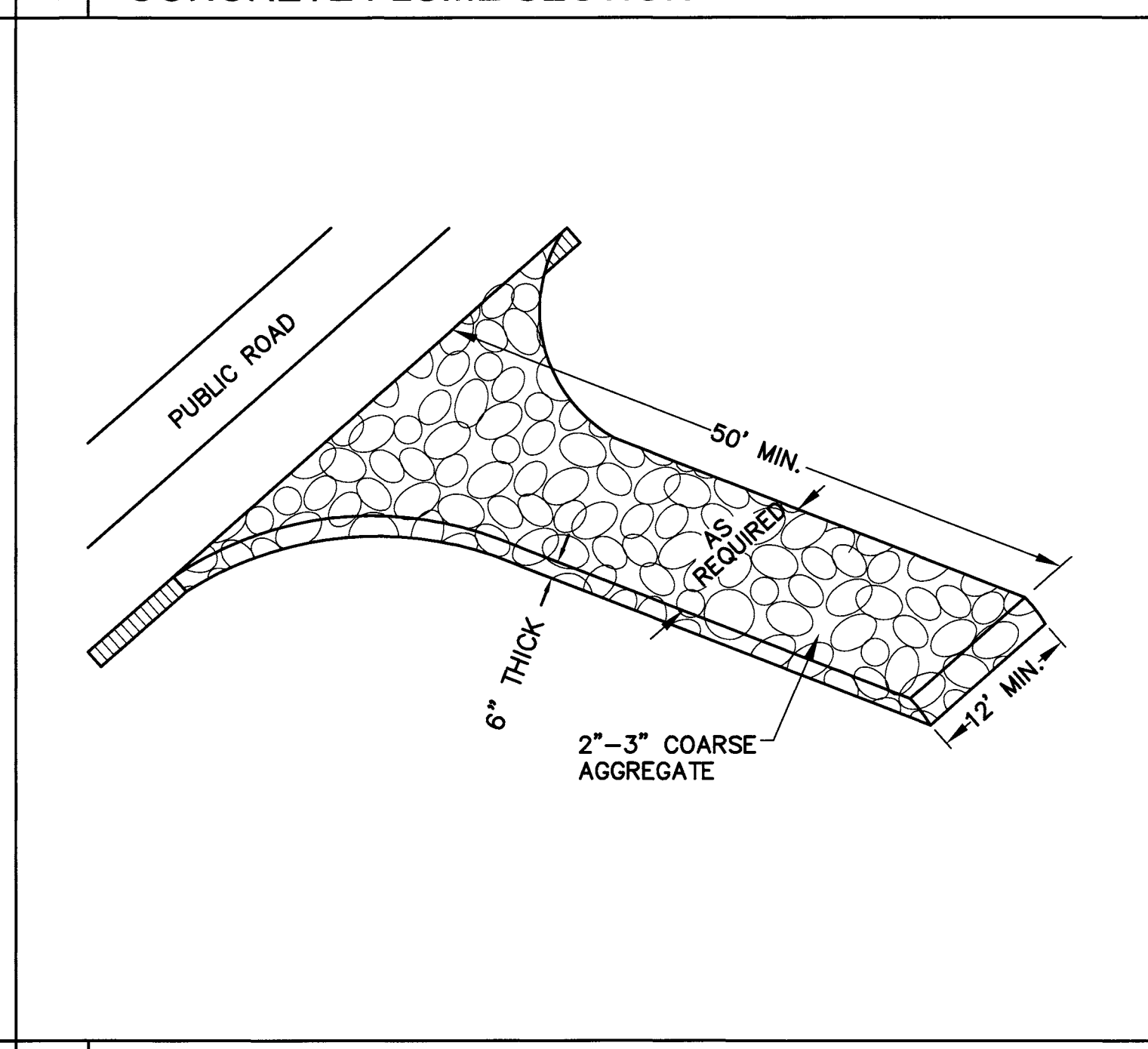
7 STANDARD CITY OF WILMINGTON DRIVE WAY DETAIL



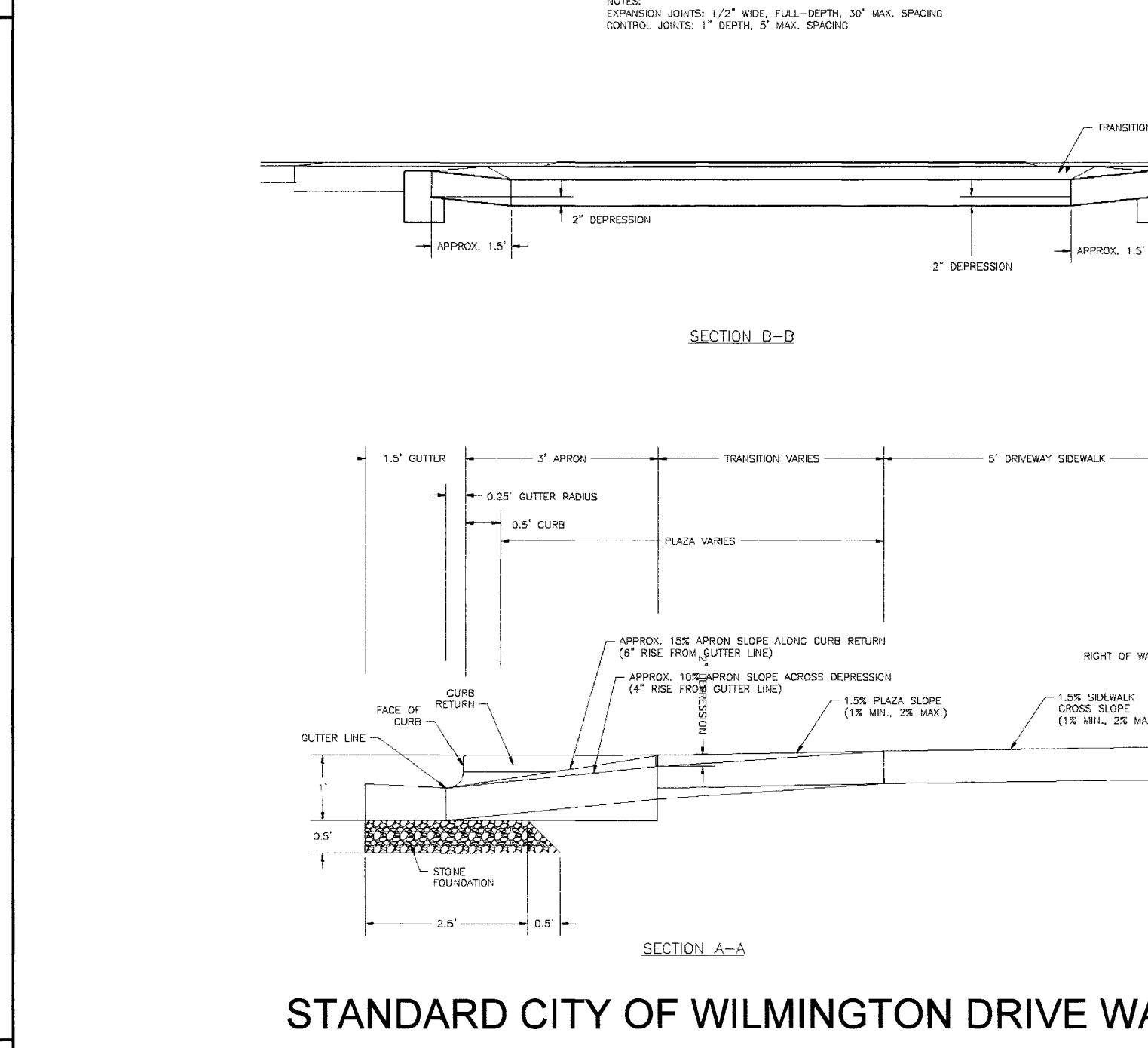
8 TEMPORARY GRAVELLED CONSTRUCTION ENTRANCE



9 NCDOT TYPE 1 CURB RAMP



10 NOTES ON DETECTABLE WARNING FOR WHEEL CHAIR RAMPS



11 STANDARD CITY OF WILMINGTON DRIVE WAY DETAIL

CALL 811 (3) WORKING DAYS BEFORE YOU DIG.

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

CITY OF WILMINGTON
Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN

Date: _____ Permit # _____

Signed: _____

Approved Construction Plan

Name _____ Date _____

Planning _____

Traffic _____

Fire _____

FOR BID ONLY NOT FOR CONSTRUCTION

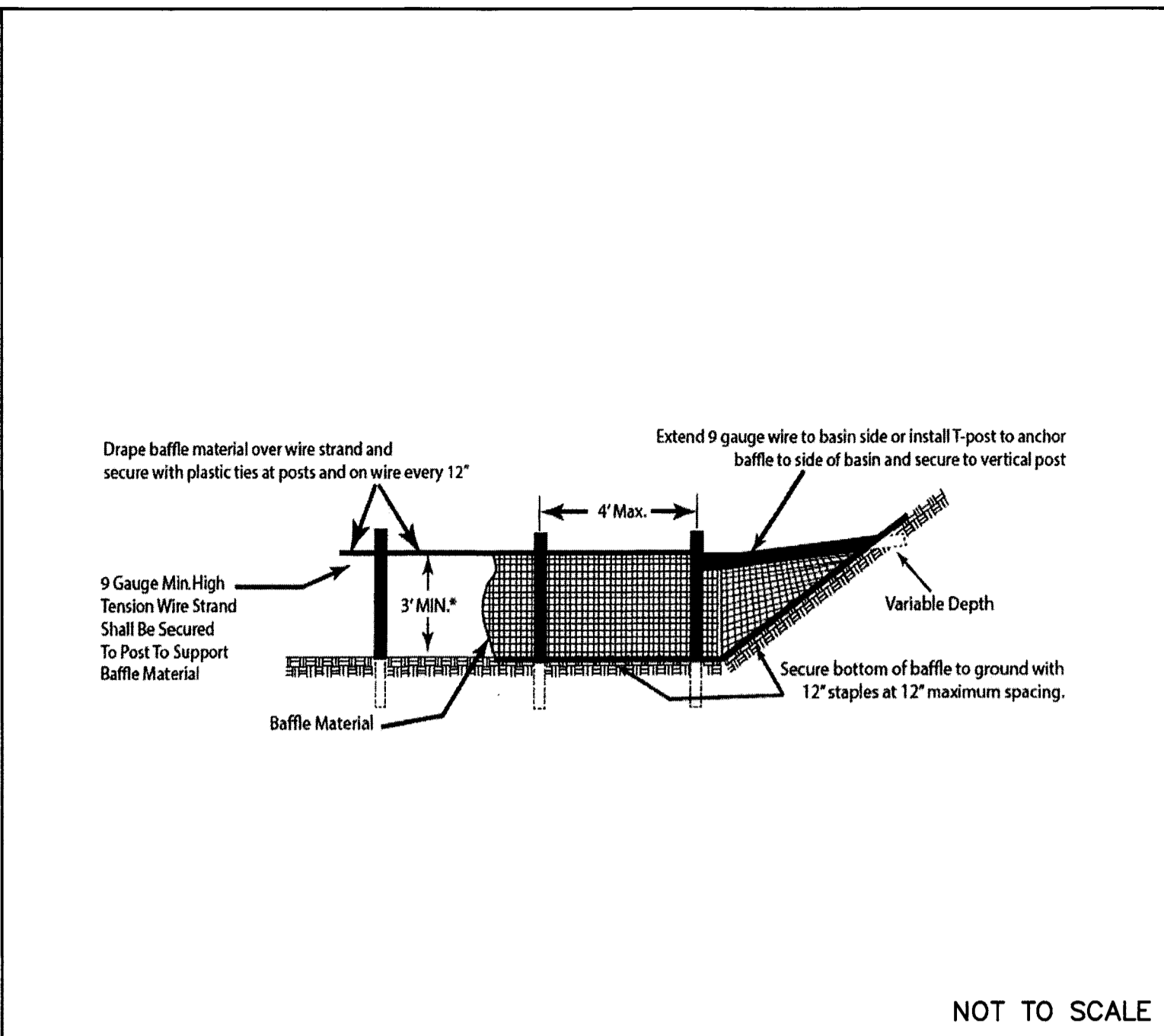
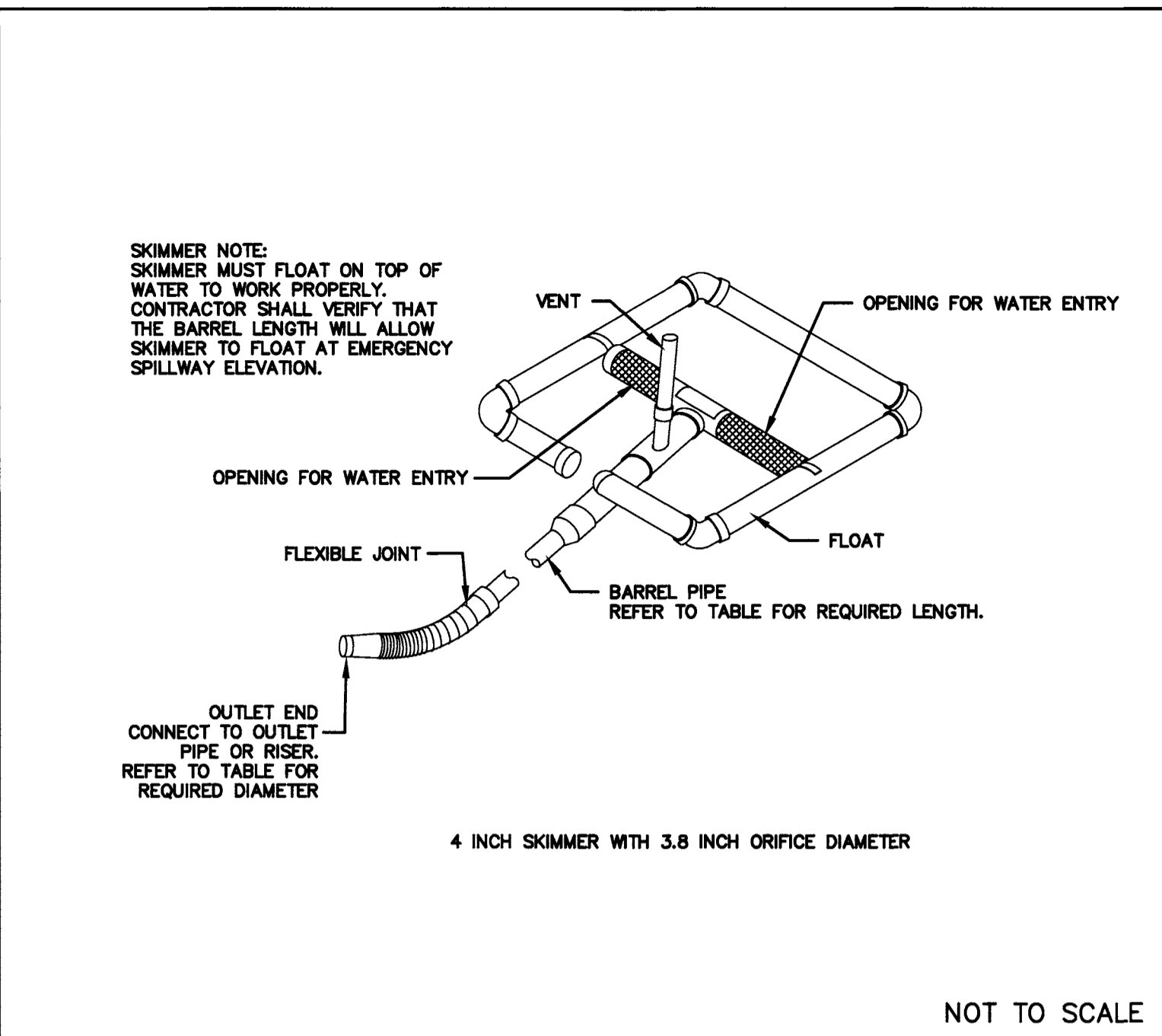
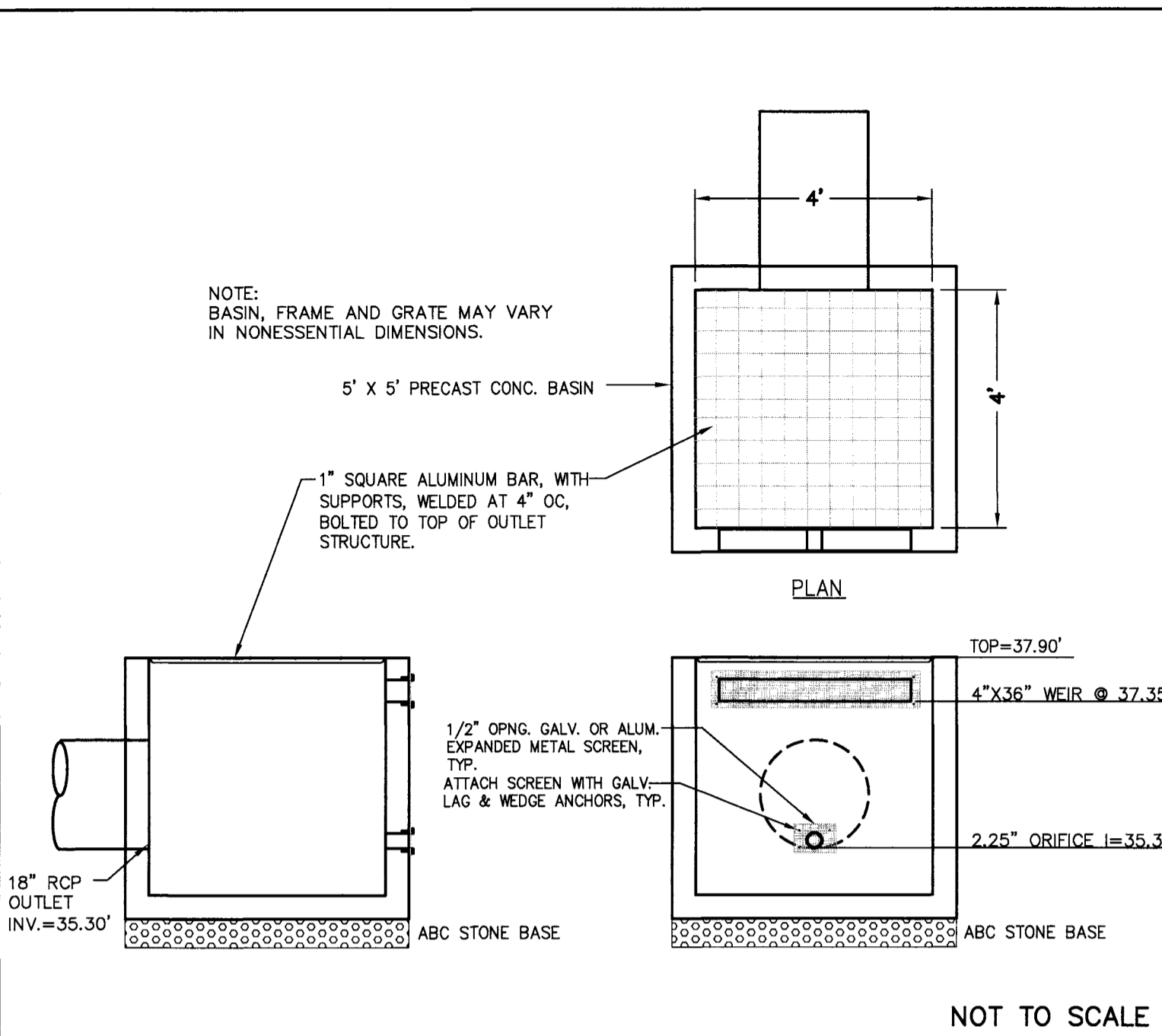
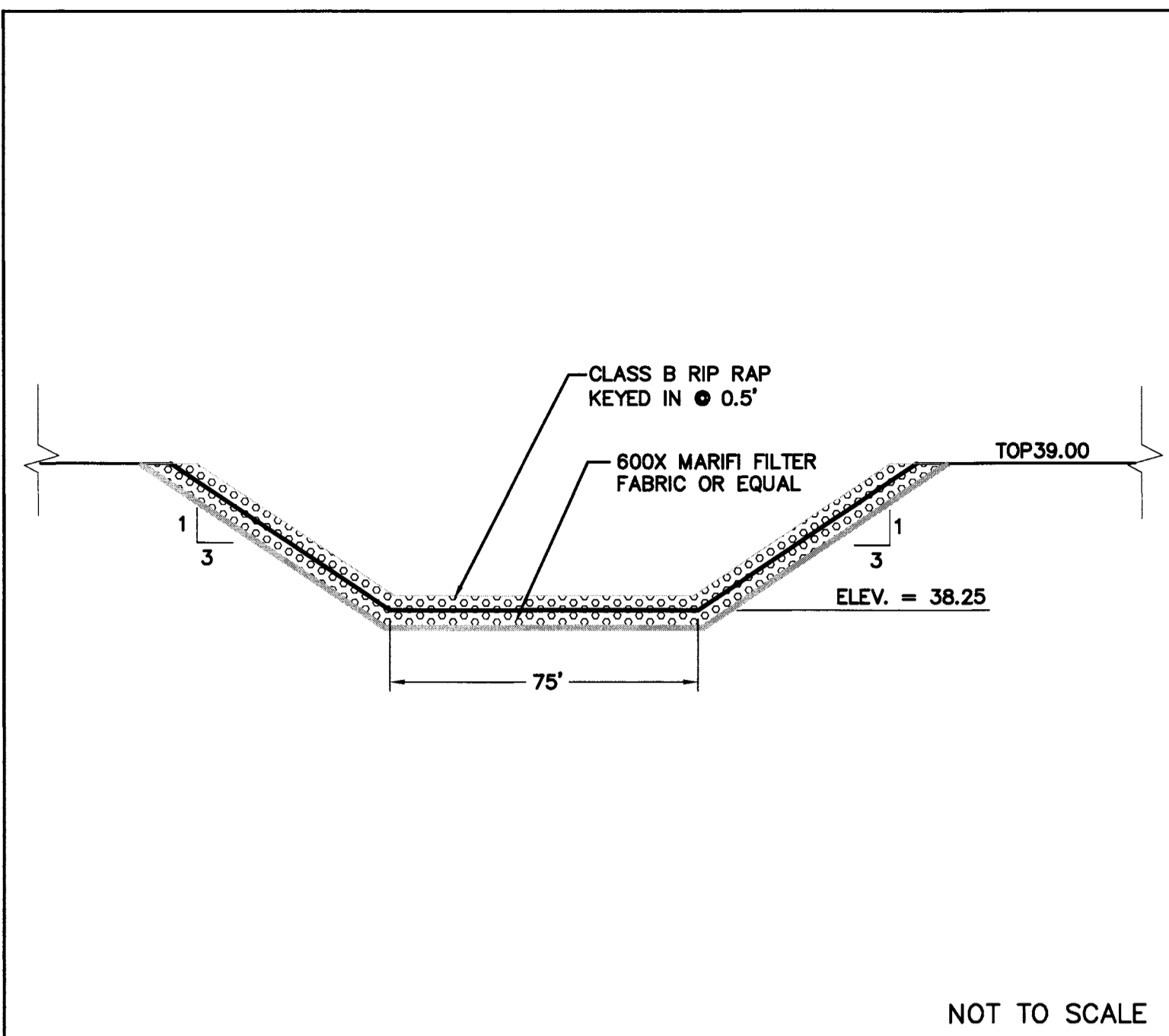
C7

NOTES AND DETAILS
BAKER MOTOR COMPANY, LLC
4920 NEW CENTRE DRIVE
WILMINGTON, NC 28403
910-624-6060

DEVELOPER
BAKER MOTOR COMPANY, LLC
4920 NEW CENTRE DRIVE
WILMINGTON, NC 28403
910-624-6060

NORRIS & TUNSTALL
CONSULTING ENGINEERS P.C.
1429 ASH LITTLE RIVER RD. NW
WILMINGTON, NC 28401
PHONE (910) 343-9653

Licence #C-3641
16038
DES. JST
CDR. JPN
DRWN. NKS
DATE 2/1/17
APPROVED STORMWATER MANAGEMENT PLAN
Date: _____ Permit # _____
SIGNED: _____
Name _____ Date _____
FOR BID ONLY NOT FOR CONSTRUCTION
C7

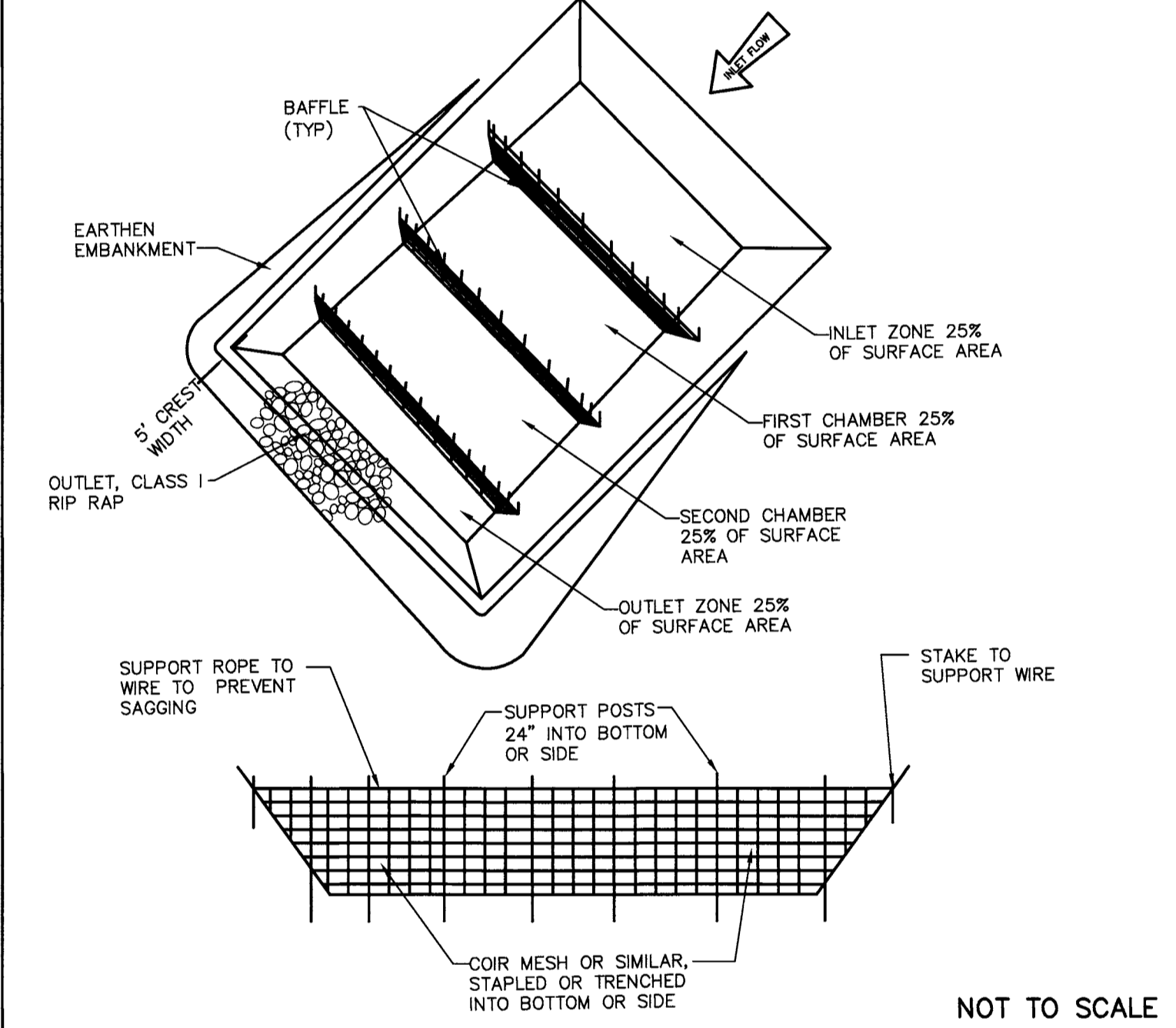
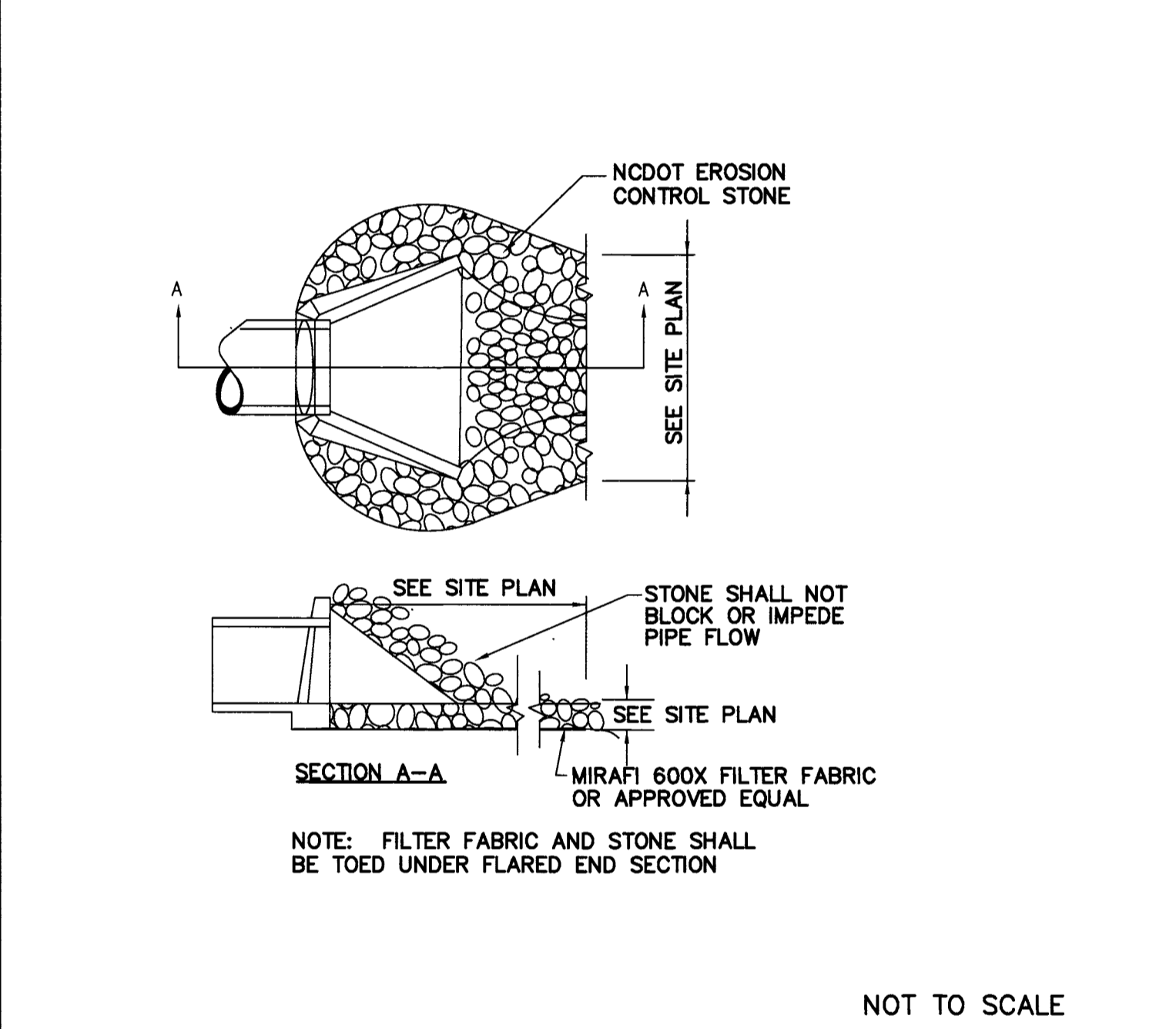
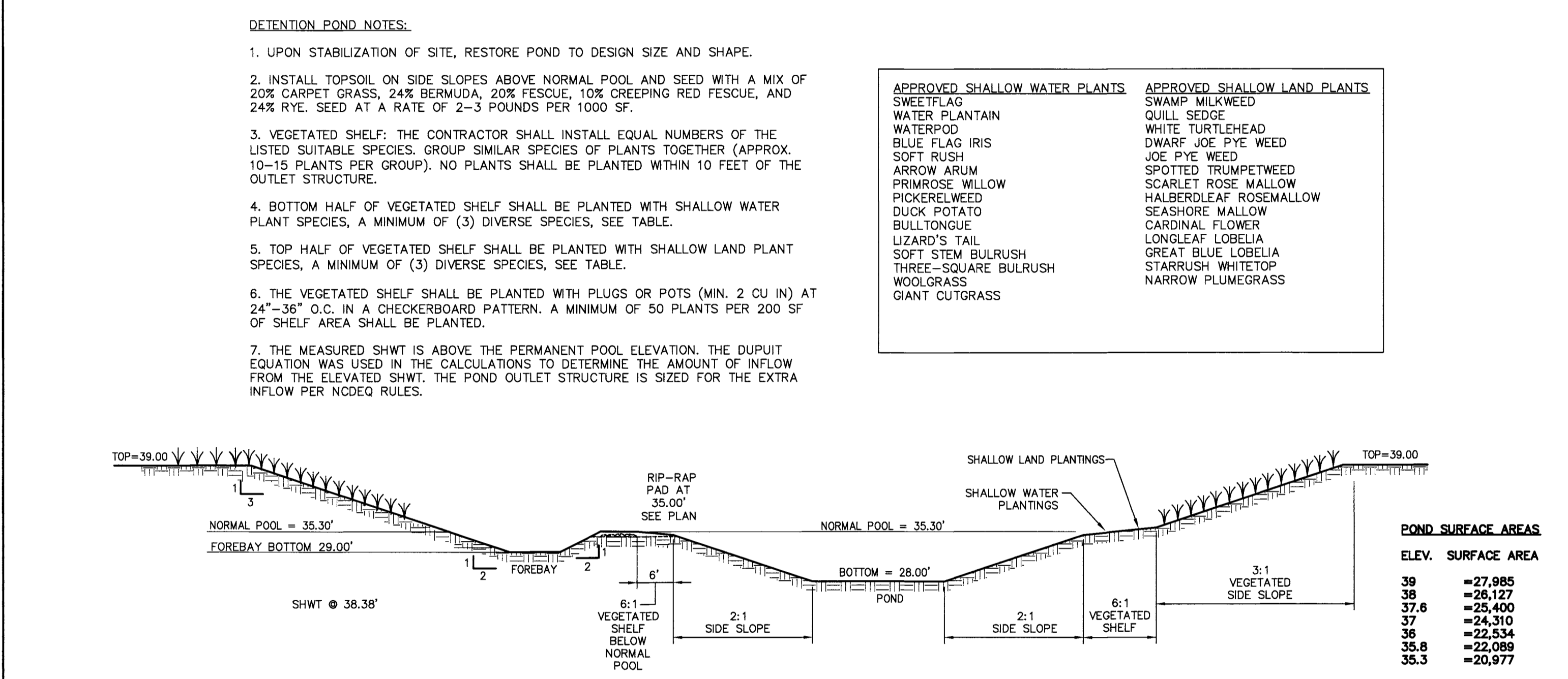


1 EMERGENCY SPILLWAY DETAIL

2 DETENTION POND OUTLET STRUCTURE

3 STANDARD SKIMMER DETAIL (FAIRCLOTH)

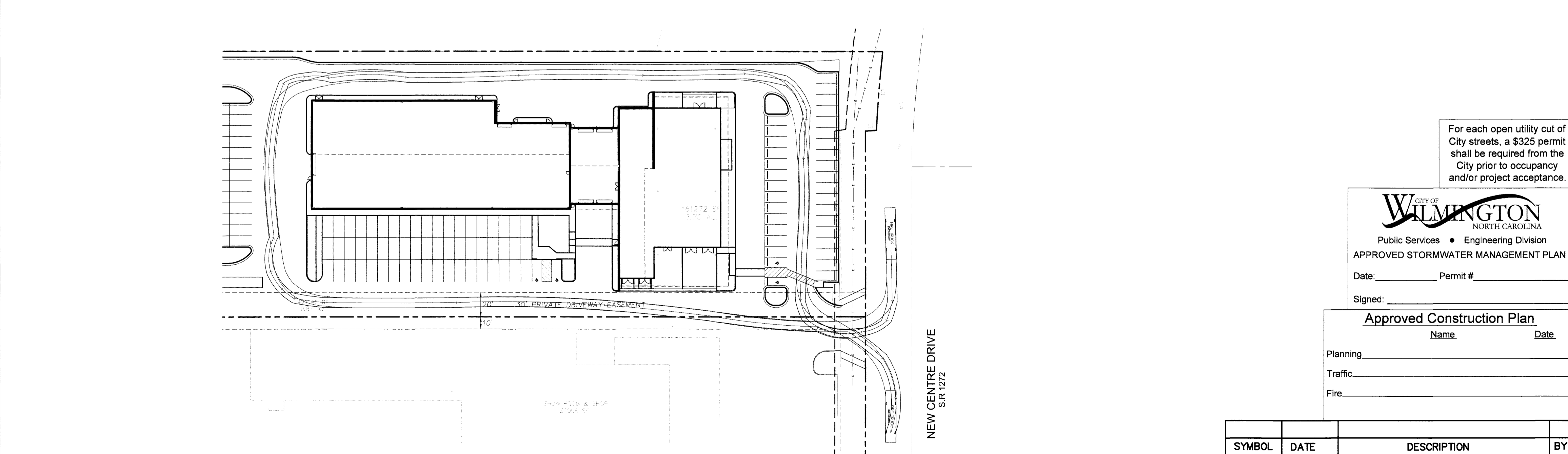
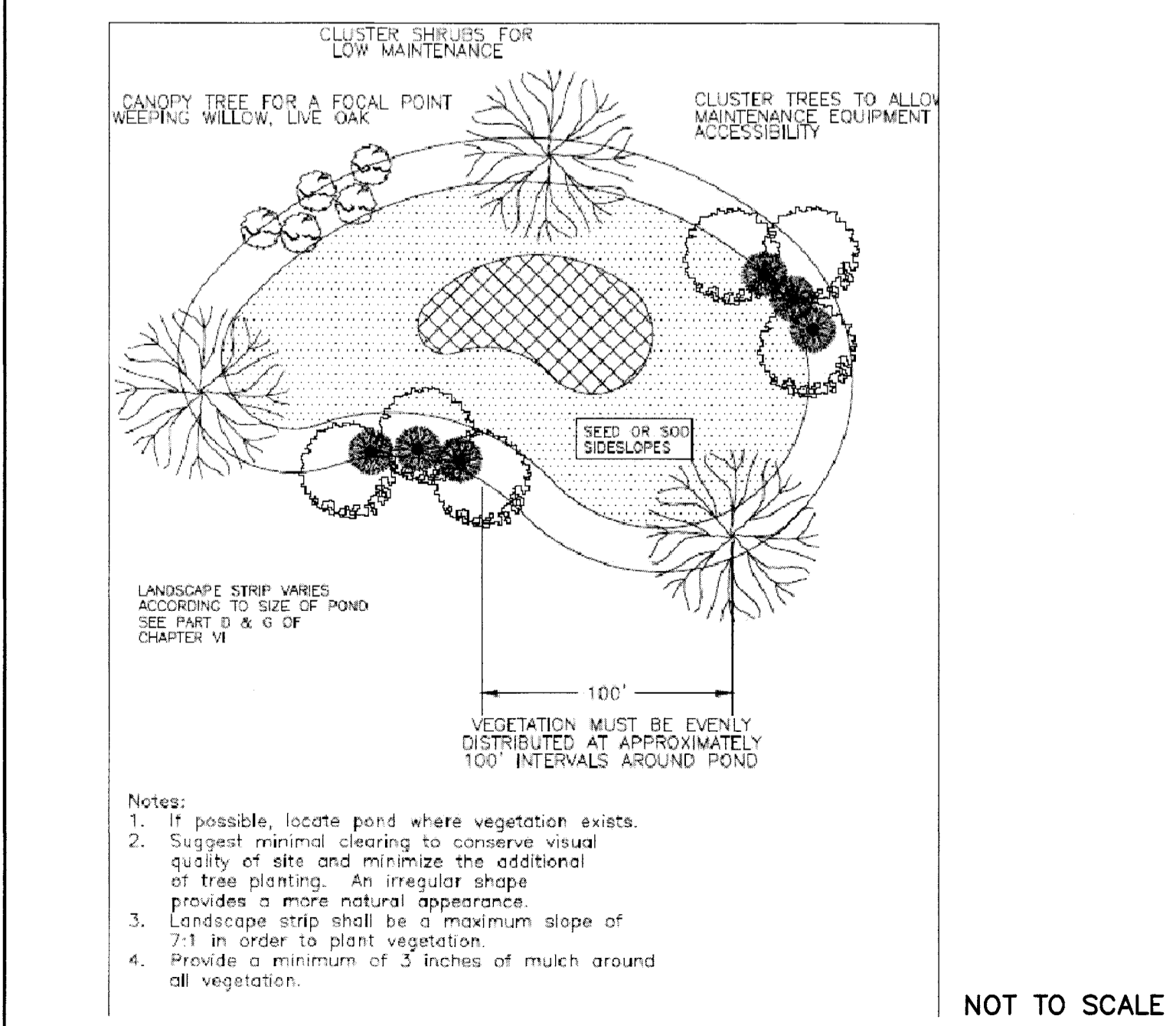
4 BAFFLE STAKE SPACING DETAIL



5 POND #4 CROSS SECTION

6 ENERGY DISSIPATOR

7 BAFFLE DETAIL



8 TYP. STORMWATER FACILITY LANDSCAPING PLAN

FIRE TRUCK ACCESS DETAIL

NOTES AND DETAILS
BAKER BMW OF WILMINGTON
4900 NEW CENTER DRIVE
WILMINGTON, N. C.

DEVELOPER
BAKER MOTOR COMPANY, LLC
4900 NEW CENTER DRIVE
WILMINGTON, NC 28403
910.624.8060

NORRIS & TUNSTALL
CONSULTING ENGINEERS P.C.
902 MARKET STREET
WILMINGTON, NC 28401
PHONE (910) 343-9653
1429 ASH-LITTLE RIVER RD., NW
ASH, NC 28620
PHONE (910) 287-5900

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

City of WILMINGTON, NORTH CAROLINA
Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN
Date: 3/14/17 Permit #
Signed: _____
Approved Construction Plan
Name: _____ Date: _____
Planning: _____
Traffic: _____
Fire: _____

16038
DES. JST
ORD. JPN
DRWL. NKS
DATE 3/14/17

FOR BID ONLY NOT FOR CONSTRUCTION

C8

SYMBOL	DATE	DESCRIPTION	BY
REVISIONS			
©2015 NORRIS & TUNSTALL			